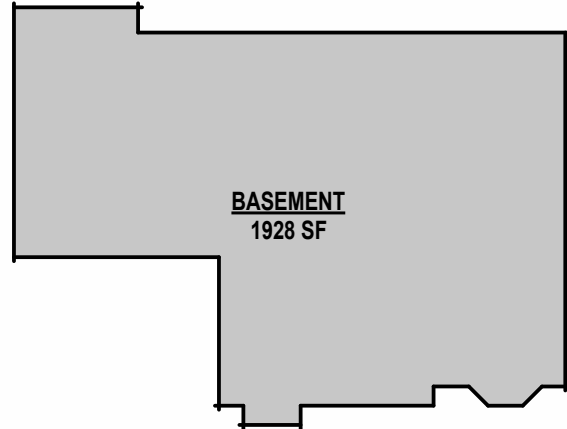
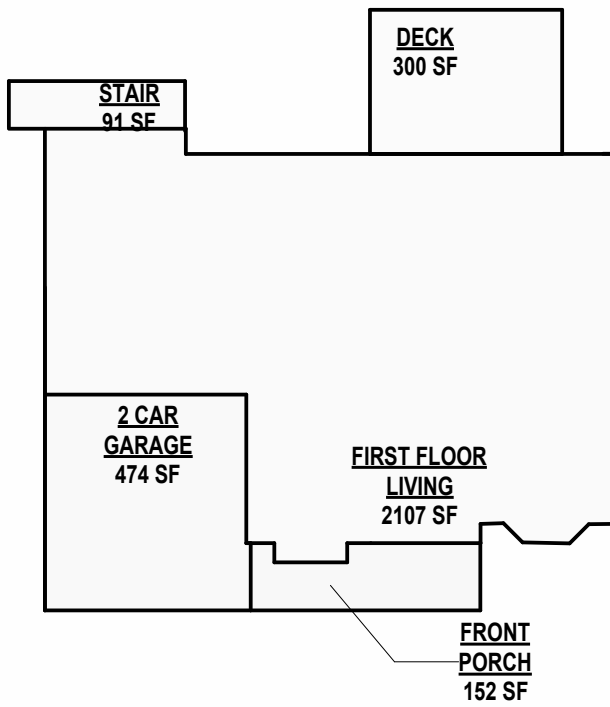




③ LOCATION MAP
NTS



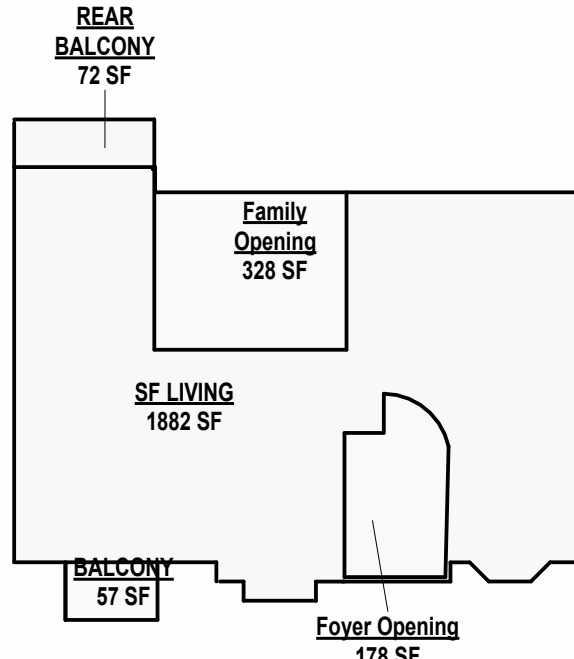
⑩ AREA PLAN - BASEMENT
1" = 20'-0"



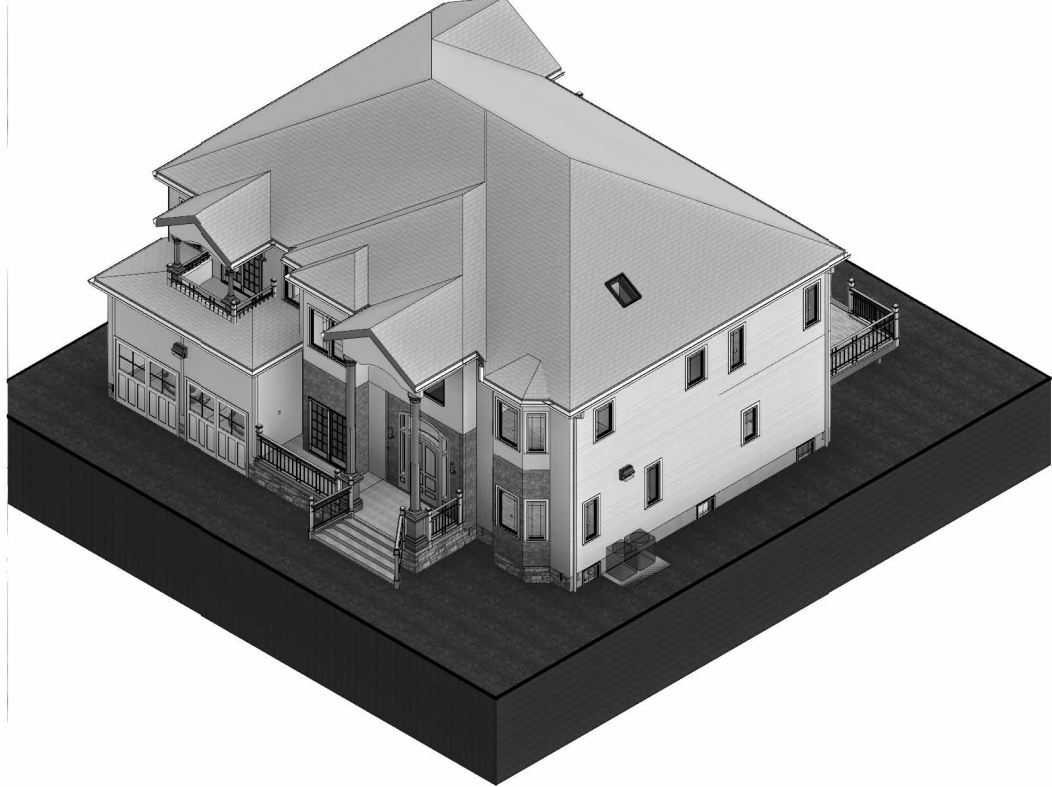
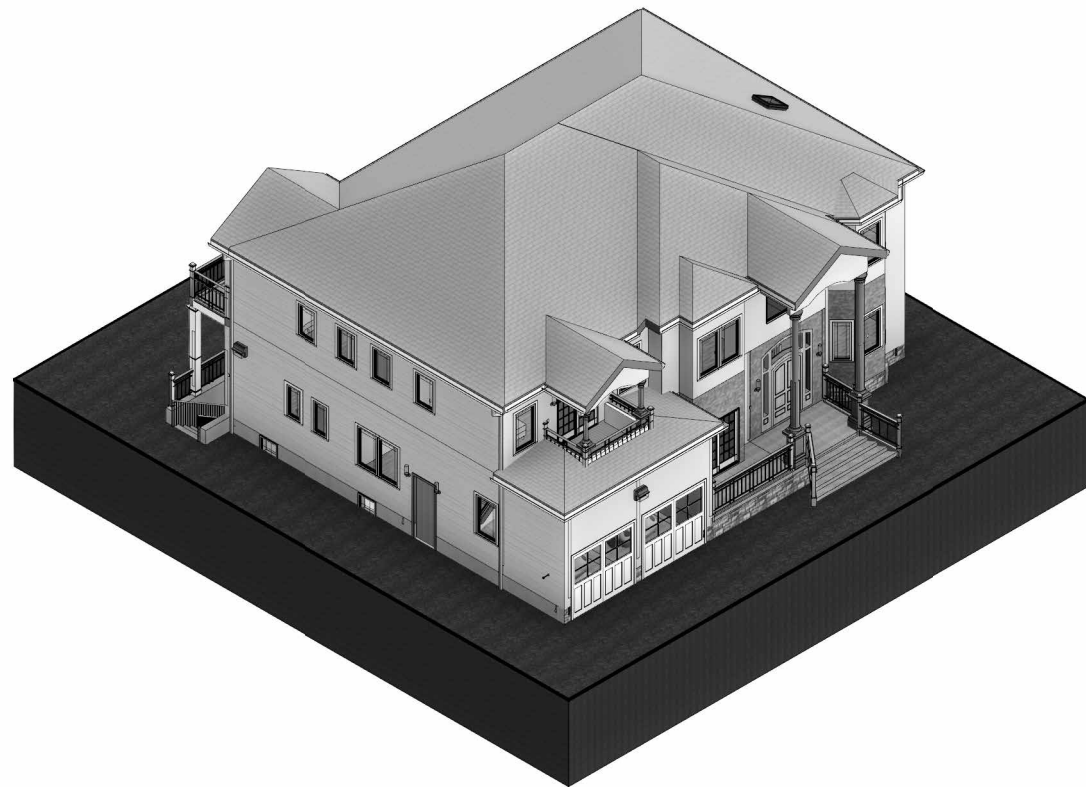
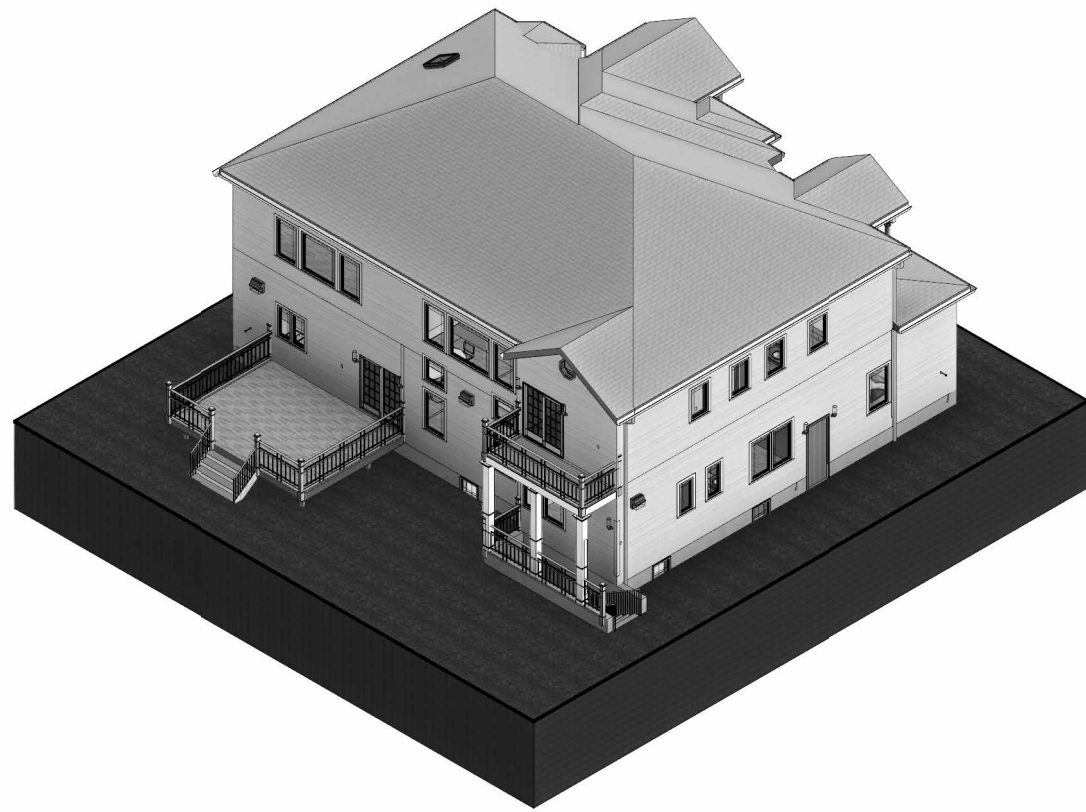
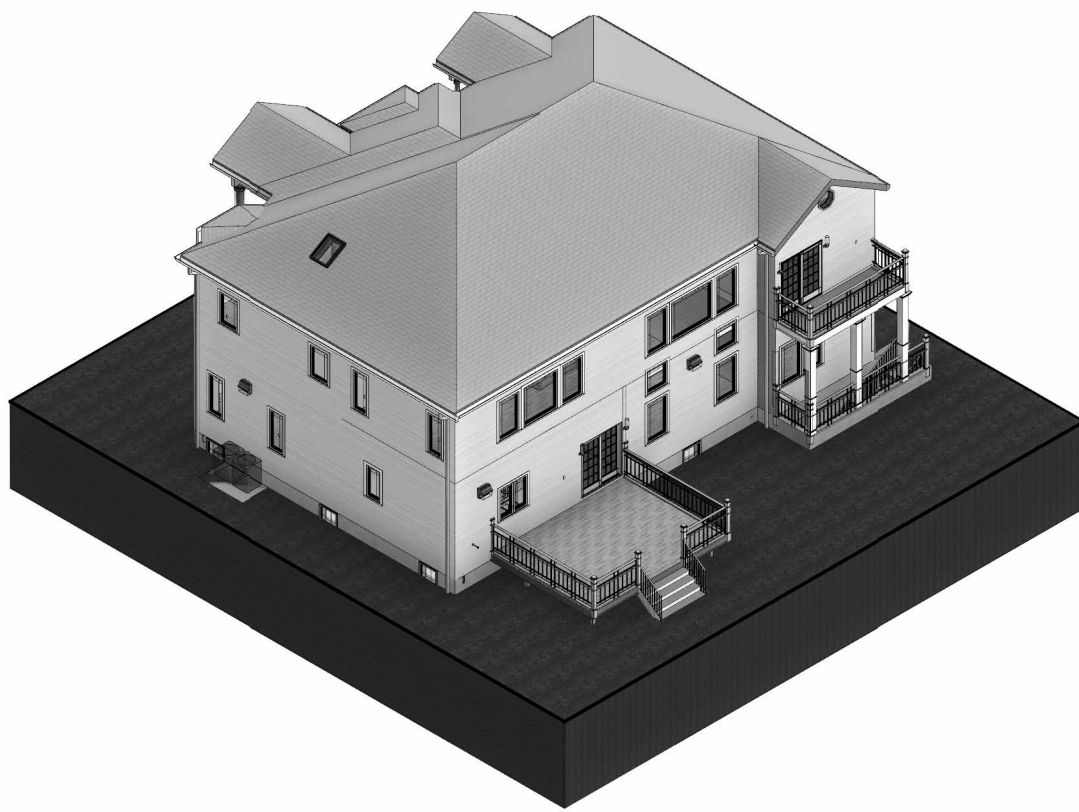
⑪ AREA PLAN - FIRST FLOOR
1" = 20'-0"



② FRONT VIEW
NTS



⑫ AREA PLAN - SECOND FLOOR
1" = 20'-0"



PROPOSED BUILDING VIEWS



GENERAL NOTES :

- THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION OF WORK AND IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR OWNER OF THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON THE APPROVED PLANS AND OF ANY UNFORESEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
- ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE TO THE CURRENT NJ STATE CONSTRUCTION CODE (INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION 2021) AND ALL APPLICABLE LOCAL CODES. COORDINATION OF THE ENTIRE PROJECT SHALL BE PERFORMED BY THE G.C. EACH SUB-CONTRACTOR SHALL VERIFY AND REVIEW BOTH PROPOSED AND EXISTING CONDITIONS WITHIN THE SCOPE OF THEIR WORK AND SHALL NOTIFY THE G.C. OF ANY CONFLICTING CONDITIONS.
- CONTRACTOR SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
- DISCREPANCIES OR UNCLEAR INFORMATION SHALL BE BROUGHT TO THE ARCHITECT FOR CLARIFICATION. CONTRACTOR SHALL FIX, AT HIS EXPENSE, ANY ERRORS DONE DUE TO ASSUMPTIONS THAT LEAD UP TO CONFLICTING SITUATION WITH THE INTENT OF THE PROJECT.
- IT IS THE CONTRACTOR RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE PROJECT AND REVIEW ALL CONDITION IN ORDER TO FULLY UNDERSTAND THE SCOPE OF THE PROJECT.
- TYPICAL NOTES AND DETAIL ARE THE MINIMUM REQUIREMENTS FOR CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSION AND CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY MAJOR DISCREPANCIES PRIOR TO STARTING WORK. CONSULT WITH ARCHITECT PRIOR TO MODIFICATIONS.
- CONTRACTOR TO PATCH AND REPAIR ANY AND ALL EXISTING AREAS DISTURBED BY NEW WORK.
- HVAC DUCT WORK AND ELECTRICAL PANELS BY OTHERS.
- STRUCTURAL LOAD POINT ANALYSIS, HVAC LOAD ANALYSIS, ELECTRICAL LOAD ANALYSIS BY OTHERS.

FOUNDATION DRAINAGE

- A DRAIN IS PLACED AROUND THE PERIMETER OF THE FOUNDATION, CONSISTING OF A 4" MIN. PERFORATED PIPE SET ON NOT LESS THAN 2" OF GRAVEL OR CRUSHED STONE, AND COVERED WITH NOT LESS THAN 6" OF THE SAME MATERIAL. THE PIPE SHALL HAVE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION.
- THE TOP OF ALL FOUNDATION DRAINS ARE COVERED WITH AN APPROVED FILTER MEMBRANE.

FOOTINGS

- ALL CONCRETE SHALL BE 3,000 PSI.
- WALL FOOTINGS SHALL BE A MINIMUM OF 10" DEEP CONCRETE WITH A MINIMUM 6" PROJECTION ON EACH SIDE OF SUPPORTING CMU WALLS, UNLESS NOTED OTHERWISE ON PLANS.
- LALLY COLUMN FOOTINGS SHALL BE MIN. 30" X 30" X 12" DEEP, UNLESS NOTED OTHERWISE ON THE PLANS.
- ALL FOOTING TO REST ON FIRM, VIRGIN SOIL WITH A MIN. SOIL BEARING CAPACITY OF 2 TONS PSF (4000#).
- ALL FOOTINGS SHALL BE A MIN. 10" OF 2" BELLY FROM AVERAGE GROUND OR FINISHED GRADE. STEP FOOTING AS REQUIRED TO COMPLY WITH ACTUAL GRADE CONDITIONS.

FOUNDATION WALL

- USE POUR CONCRETE MIN 3000 PSI WALL FOR FOUNDATION.
- AS PER DETAIL OR SUPERIOR WALL - PRE CAST CONCRETE WALL.
- DAMP-PROOF EXTERIOR BASEMENT / FOUNDATION WALL BELOW GRADE WITH ASPHALT OR EQUAL.
- ANGLE LINTEL FOR CONCRETE WALL OPENING AS PER DETAIL.
- ALL REINFORCING STEEL SHALL BE DEFORMED BARS OF NEW MILD STEEL CONFIRMING ASTM A615, GRADE 60. ALL WELDED WIRE MESH SHALL CONFIRM TO ASTM A185.

GARAGE NOTES

- CONCRETE FLOOR TO BE A MIN. OF 3500 PSI.
- PROVIDE A 6 MIL VAPOR BARRIER BELOW THE CONCRETE FLOOR SLAB.
- LOAD BEARING PERIMETER WALLS TO BE 1 HOUR FIRE RATED.
- PROVIDE 1 HOUR RATED CEILING IN GARAGE. SEE DETAIL.
- ALL WALLS BETWEEN GARAGE AND LIVING SPACE SHALL BE 1 HOUR FIRE RATED.
- PROVIDE MIN. 4" STEP UP FROM GARAGE FLOOR TO LIVING AREA.
- OPENINGS IN A WALL SEPARATING A GARAGE FROM THE HOUSE MUST BE PROTECTED BY ONE OF THE FOLLOWING:
- SOLID WOOD DOOR NOT LESS THAN 1-3/8 INCHES THICK
- SOLID OR HONEYCOMB-CORE STEEL DOOR NOT LESS THAN 1-3/8 INCHES THICK
- 20 MINUTE FIRE RATED DOOR
- ANY OF THE DOORS USED TO PROVIDE PROTECTION MUST BE EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC CLOSING DEVICE.
- OPENINGS IN A WALL SEPARATING A SLEEPING ROOM FROM THE GARAGE ARE NOT PERMITTED.
- GARAGE DOORS - PERMANENT LABEL FROM MANUFACTURER IDENTIFYING THE MANUFACTURER, MODEL OR SERIES NUMBER, POSITIVE AND NEGATIVE DESIGN WIND PRESSURE RATINGS, REFERENCE TO INSTALLATION INSTRUCTION DRAWINGS, AND APPLICABLE TEST STANDARD.

CONCRETE SLABS

- ALL CONCRETE SLABS SHALL BE 4" THICK POURED CONCRETE (MIN. 3000 PSI). GARAGE FLOOR MIN. 3,500 PSI).
- OVER A 4" POROUS BASE OVER A FIRM, VIRGIN OR COMPACTED SUB-BASE.
- PROVIDE A 6 MIL VAPOR BARRIER BELOW ALL CONCRETE SLABS ON GRADE.

SILL PLATES

- SILL PLATES SHALL BE OF PRESSURE TREATED LUMBER (WOLMANIZED OR EQUAL). PROVIDE (2) 2" X 8" MEMBERS FOR FIRST FLOOR (AT BASEMENT) AND CRAWL SPACES AND (2) 2" X 8" MEMBER AT SECOND FLOOR.
- SECURE SILL WITH 5/8" DIAMETER ANCHOR BOLTS, MAX. 6'0" O.C., MAX. 1'-0" FROM CORNERS; MIN. 10" EMBEDDED ONTO CONCRETE WALL, OR METAL STRAP ANCHORS (TECO FA22 OR EQUAL), INSTALLED AS PER MFG'S WRITTEN INSTRUCTIONS (MAX. 3'-0" O.C.).
- PROVIDE SILL SEALER BETWEEN SILL AND CMU.
- FOUNDATION ANCHORAGE: ANCHOR BOLTS ARE REQUIRED TO BE PLACED IN THE MIDDLE THIRD OF SILL PLATES.

FRAMING NOTES

- ALL STRUCTURAL HEADERS NOT INDICATED ON THE PLANS, SHALL BE: (2) 2" X 10" MINIMUM FOR 4 1/2" WALL AND (3) 2" X 12" MINIMUM FOR 6 1/2" WALL UP TO 6' OPENING. ALL HEADERS TO BE HEIM FRG #2, MORE THAN 6' OPENING PROVIDE 3 1/2" X 11 7/8" FOR 4 1/2" WALL & 5 1/2" X 11 7/8" PARALLAM.
- PROVIDE DOUBLE FLOOR JOISTS UNDER WALL, ISLAND, POSTS AND BATHUBS.
- FRAME OUT FOR SOIL STACKS AS REQUIRED.
- SOLID BLOCKING UNDER ALL POSTS ABOVE.
- PROVIDE 5/4 X 3" CROSS SPRUCE BRIDGING / METAL BRACING.
- DOOR / WINDOW SIZES ARE NOMINAL. CONSULT MANUFACTURER FOR EXACT ROUGH OPENING SIZES.
- ALL WINDOW HEADS SHALL BE ALIGN EXCEPT WHEN NOTED OTHERWISE. TRANSOMS TO BE ALIGN WITH OTHERS AND HIGH DOOR HEADERS.
- INSTALL ALL TRUSS, JOISTS & PARALLAM AND OTHER BEAM PRODUCTS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PROVIDE 2" X 6" HORIZONTAL VERTICAL STRONGBACKS EACH CEILING SPAN.
- VENT ALL EXHAUST FANS TO EXTERIOR.
- SOLID BLOCKING UNDER ALL POSTS ABOVE.
- ALL WOOD TO BE USED FOR EXTERIOR DECKING TO BE PRESSURE TREATED.
- ALL METAL HANGERS AND ANCHOR BOLTS ATTACHED TO PRESSURE-TREATED LUMBER TO BE HOT - DIPPED GALVANIZED.
- SOUND ATTENUATION INSULATION IN BATHROOM WALLS AND FLOORS.

WINDOW NOTE

- WINDOW SIZES ARE NOMINAL. CONSULT WINDOW MANUFACTURERS FOR EXACT ROUGH OPENING SIZE.
- REVIEW PLAN FOR SPECIAL GLAZING REQUIREMENTS. PROVIDE A MIN. OF ONE CODE APPROVED EGRESS WINDOW IN EACH BEDROOM.

VALLEY RAFTER NOTE

- UNLESS NOTED ON PLANS, NO STRUCTURAL VALLEYS SHALL BE USED. VALLEYS SHALL BE BUILT BY SETTING ONE ROOF ON TOP OF ANOTHER. UPPER ROOF RAFTERS TO BE SET ON A 12" X 12" PLATE, WHICH IS SET ON TOP OF THE SHEATHING OF THE LOWER ROOF AND NAILED INTO THE RAFTERS OF THE LOWER ROOF.
- TRUE VALLEY RAFTERS TO BE (2) 1 3/4" X 14" GP LAM, UNLESS AS NOTED OTHERWISE ON THE PLAN.

SMOKE DETECTOR NOTES

- PROVIDE A SMOKE DETECTOR WITHIN EACH SLEEPING ROOM. PROVIDE A SMOKE DETECTOR IN THE SPACE LEADING TO A SLEEPING ROOM. INSTALL WITHIN 10' OF ANY SLEEPING ROOM DOOR.
- PROVIDE A SMOKE DETECTOR ON EACH FLOOR, INCLUDING THE BASEMENT.
- ALL SMOKE DETECTORS SHALL BE A/C INTERCONNECTED AND SHALL BE PROVIDED WITH A BATTERY BACKUP SYSTEM.
- IF THE CHANGE IN CEILING HEIGHT BETWEEN A HALLWAY AND AN ADJACENT ROOM IS 24 IN. OR MORE, A SMOKE DETECTOR IS REQUIRED ON THE HIGHER CEILING.

CARBON MONOXIDE DETECTOR NOTE

- IF FUEL BURNING APPLIANCES ARE TO BE USED, PROVIDE EITHER HARDWIRED OR PLUG-IN TYPE CARBON MONOXIDE DETECTOR IN IMMEDIATE VICINITY OF THE SLEEPING ROOMS.

SCOPE OF WORK : PROPOSED SINGLE FAMILY 2 STORIES NEW RESIDENTIAL BUILDING WITH UNFINISHED BASEMENT AND OUTSIDE BASEMENT ENTRANCE

LOADINGS :

- FLOOR LOAD-DWELLING ROOMS : 40 PSF (LL) + 15 PSF (DL) = 55 PSF TOTAL
- FLOOR LOAD-SLEEPING ROOMS : 30 PSF (LL) + 15 PSF (DL) = 45 PSF TOTAL
- ATTIC, LIMITED STORAGE : 20 PSF (LL) + 12 PSF (DL) = 32 PSF TOTAL
- ROOF LOADS : 30 PSF (LL) + 15 PSF (DL) = 45 PSF TOTAL
- ULTIMATE DESIGN WIND SPEED 115 MPH
- DECKS ARE DESIGNED BASED ON LIVE AND SNOW LOADS.

N.J.U.C.C. REQUIREMENTS:

CODE (as adopted by NJAC 5:23)

- 2021 INTERNATIONAL RESIDENTIAL CODE
- USER GROUP R5 (RESIDENTIAL)
- CONSTRUCTION TYPE 5B - WOOD FRAME
- BUILDING SUBCODE (NJAC 5:23-3.14)
- International Building Code/2021, NJ ed
- * Corrected sections (ICC errata)
- Other referenced I-Codes (IFC/2021, ISPS/2021, etc.)
- Other referenced ICC Standards (ICC/ANSI A117-1-2017; ICC 300-2017; etc.)

Date: Sept. 06, 2022

ONE- AND TWO-FAMILY DWELLING SUBCODE (NJAC 5:23-3.21)

International Residential Code/2021, NJ ed (IRC w/ NJ edits from 3.21)

PLUMBING SUBCODE (NJAC 5:23-3.15)

National Standard Plumbing Code/2021, NJ ed

* Corrected sections (errata list)

* Corrected pages (NJ errata) Adoption Date: Sept. 19, 2022

ELECTRICAL SUBCODE (NJAC 5:23-3.16)

National Electrical Code (NFPA 70)/2020

(link also provides access to all NFPA standards)

* TIA 1 through 9 Adoption Date: Sept. 06, 2022

ENERGY SUBCODE (NJAC 5:23-3.18)

International Energy Conservation Code/2021 (Low-Rise Residential)

ASHRAE 90.1-2019 (Commercial & all other Residential) Adoption Date: Sept. 06, 2022

MECHANICAL SUBCODE (NJAC 5:23-3.20)

International Mechanical Code/2021 Adoption Date: Sept. 06, 2022

ONE- AND TWO-FAMILY DWELLING SUBCODE (NJAC 5:23-3.21)

International Residential Code/2021, NJ ed (IRC w/ NJ edits from 3.21)

* Corrected sections (ICC errata) Adoption Date: Sept. 06, 2022

Other referenced I-Codes (ISPS/2021, etc.)

* See "ASME" within Chapter 35 of IBC/2021 Adoption Date: Sept. 06, 2022

FUEL GAS SUBCODE (NJAC 5:23-3.22)

International Fuel Gas Code/2021 Adoption Date: Sept. 06, 2022

ELEVATOR SUBCODE (NJAC 5:23-12)

American Society of Mechanical Engineers (ASME)

* See "ASME" within Chapter 35 of IBC/2021 Adoption Date: Sept. 06, 2022

ZONING APPLICATION # 7315

PERMIT NO. 20220713.000
ISSUE DATE: 08/08/2022 :

AREA SCHEDULE		
Name	Area	Level
BASEMENT	1928 SF	BASEMENT
2 CAR GARAGE	474 SF	FIRST FLOOR
FIRST FLOOR LIVING	2107 SF	FIRST FLOOR
FRONT PORCH	152 SF	FIRST FLOOR
DECK	300 SF	FIRST FLOOR
STAIR	91 SF	FIRST FLOOR
SF LIVING	1882 SF	SECOND FLOOR
BALCONY	57 SF	SECOND FLOOR
Family Opening	328 SF	SECOND FLOOR
Foyer Opening	178 SF	SECOND FLOOR
REAR BALCONY	72 SF	SECOND FLOOR

SHEET LIST

A-01	GENERAL NOTES, AREA DETAILS, PERSPECTIVE VIEWS,
A-02	BASEMENT - FOUNDATION PLAN
A-03	PROPOSED FIRST FLOOR PLAN AND DETAILS
A-04	PROPOSED SECOND FLOOR PLAN, DETAILS, TRAY CEILING
A-05	FRONT, REAR ELEVATIONS, PORCH COLUMN, STUCCO DETAILS
A-06	SIDE ELEVATIONS, BARREL CEILING, BASEMENT ENTRANCE STAIR, PORCH DETAILS
A-07	TRANSVERSE AND LONGITUDINAL SECTION, CONCRETE WALL DETAILS, FRAMING, GIRDER DETAILS
A-08	ROOF PLAN, RADON, STRAPPING DETAILS, DECK FRAMING DETAILS
A-09	ELECTRICAL - BASEMENT, GAS RISER, LEGENDS, SUMP PUMP, PLUMBING RISER
A-10	ELECTRICAL PLANS FIRST AND SECOND FLOOR,
A-11	STRUCTURAL FRAMING AND WALL BRACING PLANS, DETAILS
A-12	TJI INSTALLATION SHEET

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No.	Description	Date
1	ISSUED FOR ZONING PERMIT ONLY	2022/06/06
2	ISSUED FOR BUILDING PERMIT	2023/08/15

PRO ARCH CORPORATION LLC
PIRKKO LIISA PATTANAYAK, N/A
7 PARKER CT., SOUTH AMBOY, NJ 08879
TEL: (732) 816 2764
E mail : pirkko.pattanayak@yahoo.com

DRAWING TITLE :

GENERAL NOTES, AREA
DETAILS, PERSPECTIVE VIEWS,

OWNER : SHAH VIVEK & NUPUR

LOCATION : 20 FARMHAVEN AVE
LOT 3, BLOCK 993
EDISON, NJ 08820
ZONE : RA

PROJECT TITLE :

PROPOSED SINGLE FAMILY - TWO STORY
NEW RESIDENTIAL BUILDING WITH
UNFINISHED BASEMENT

Project Date : 2020/12/24

Sheet Date : 2023/08/15

Scale : As indicated

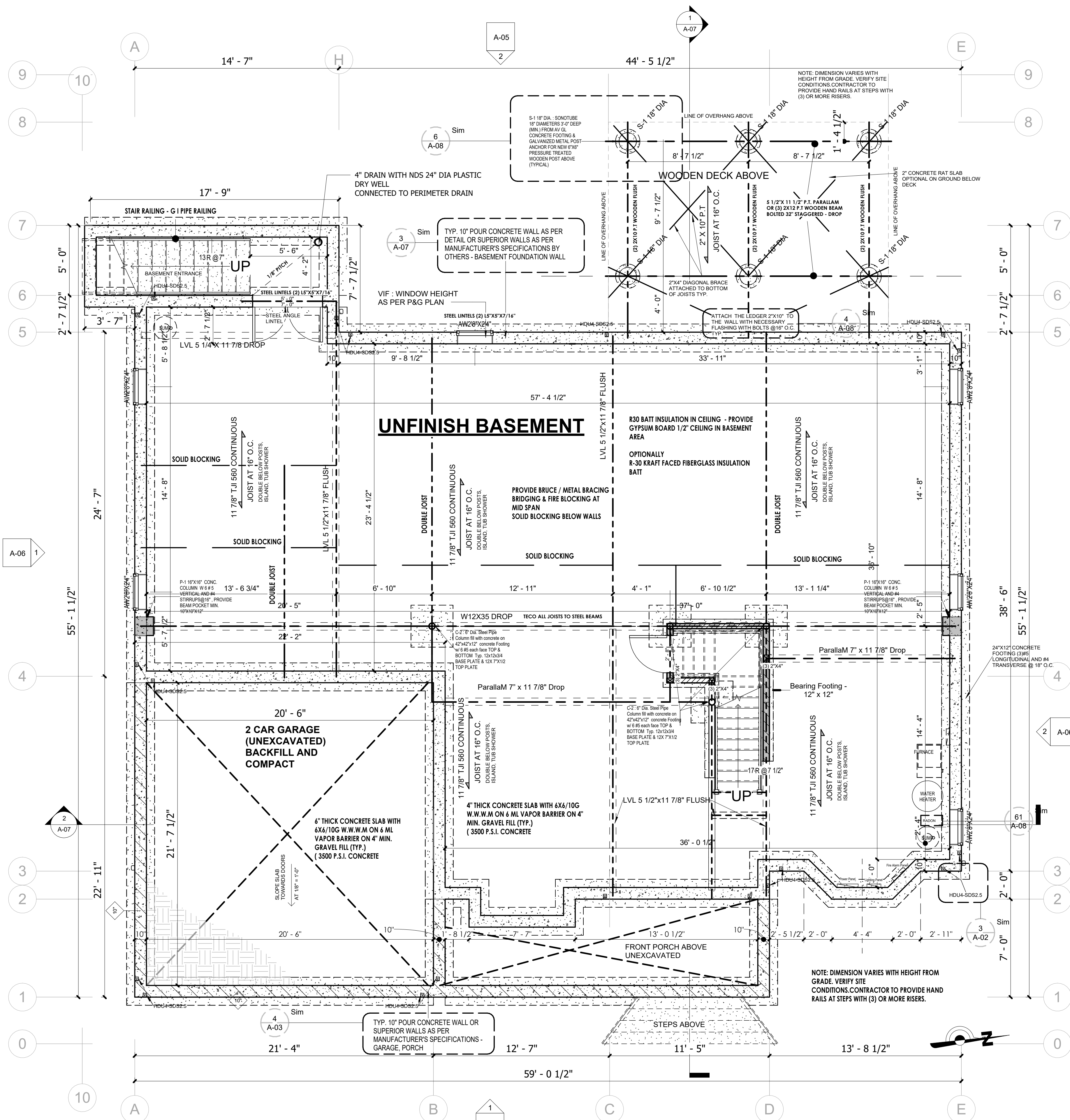
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Checked By : OWNER, PLP

Sheet No.: 1 Out of 12

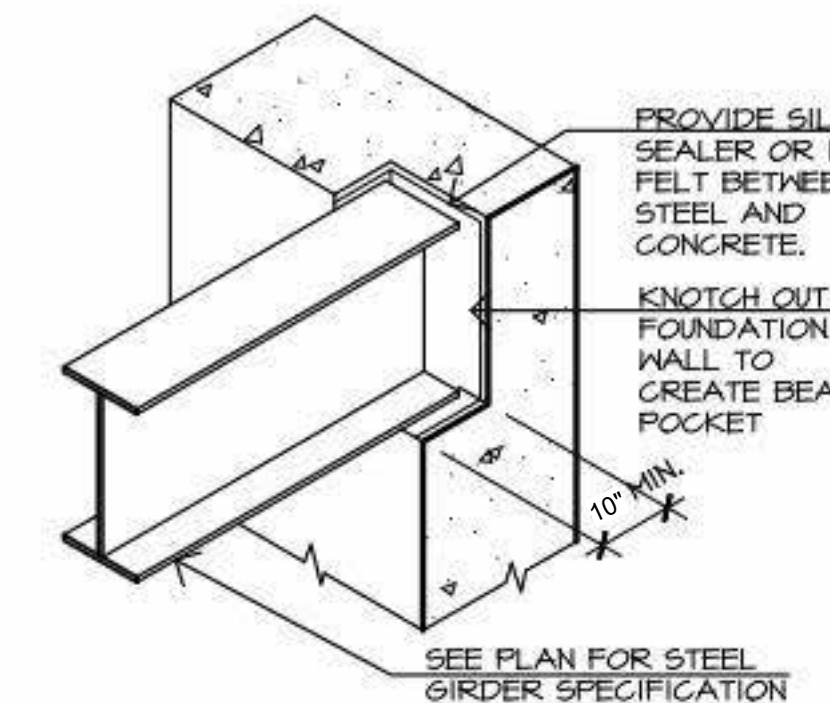
Project Number : 22-P-009

Drawing No. **A-01**

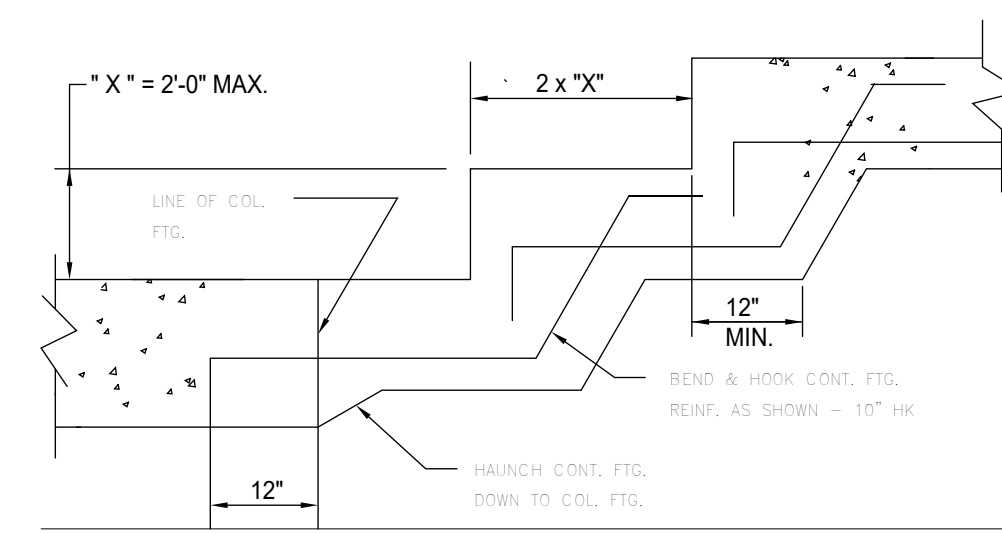


1 PROPOSED BASEMENT AND FOUNDATION PLAN
1/4" = 1'-0"

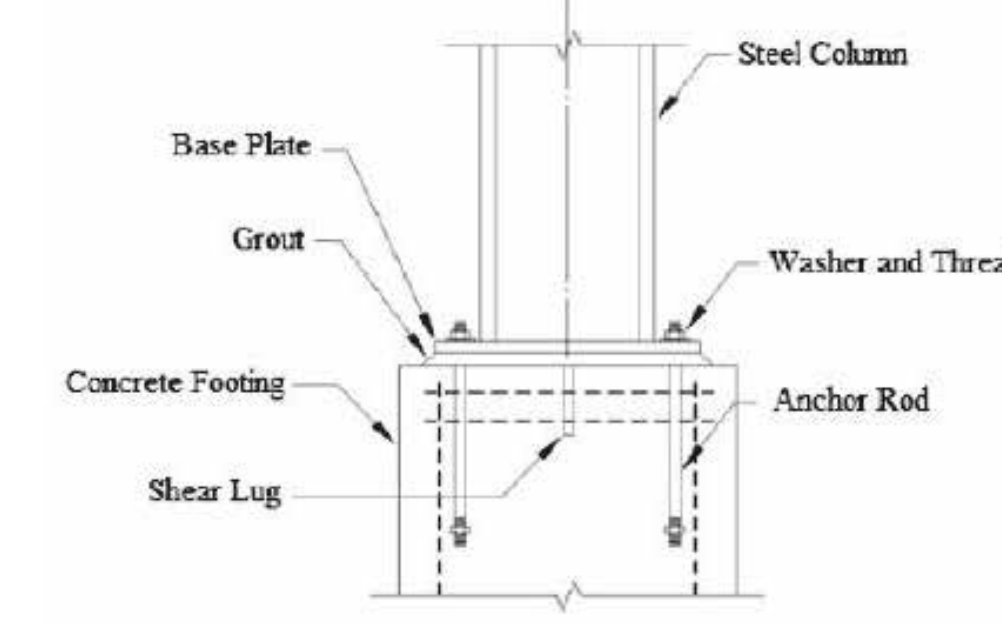
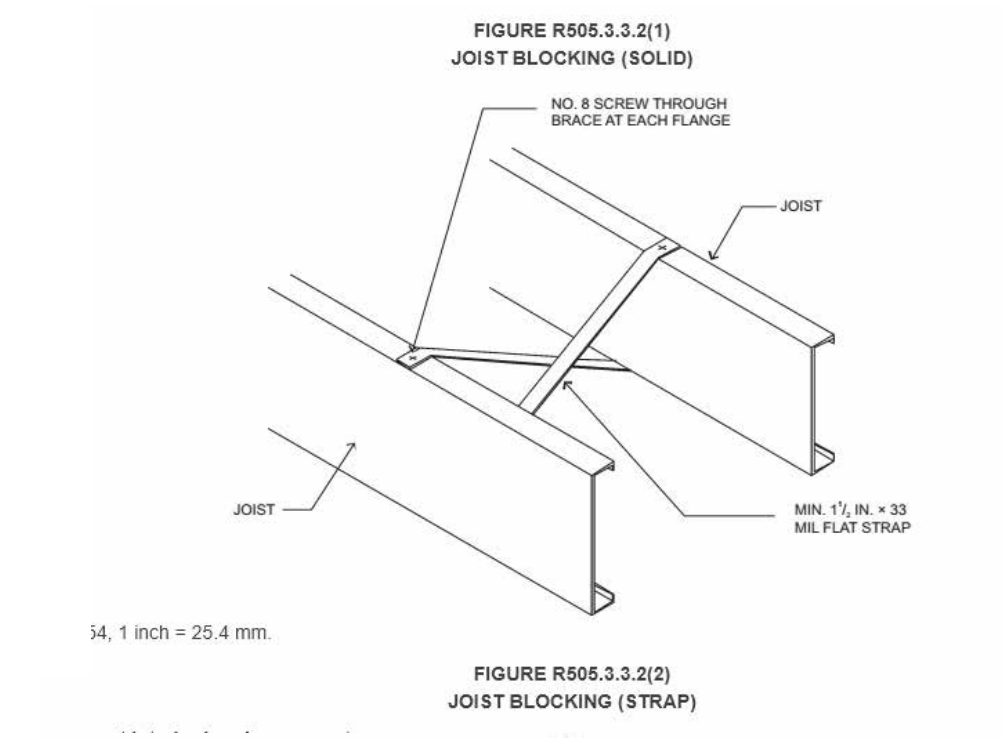
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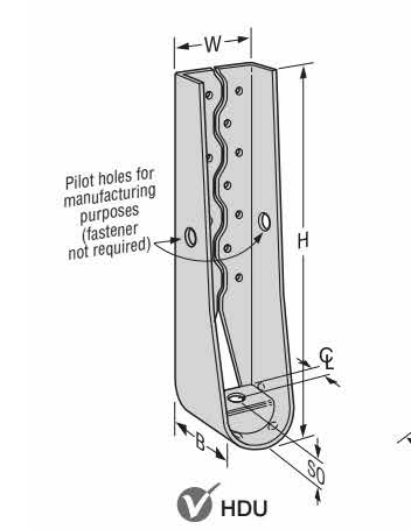
4 BEAM POCKET
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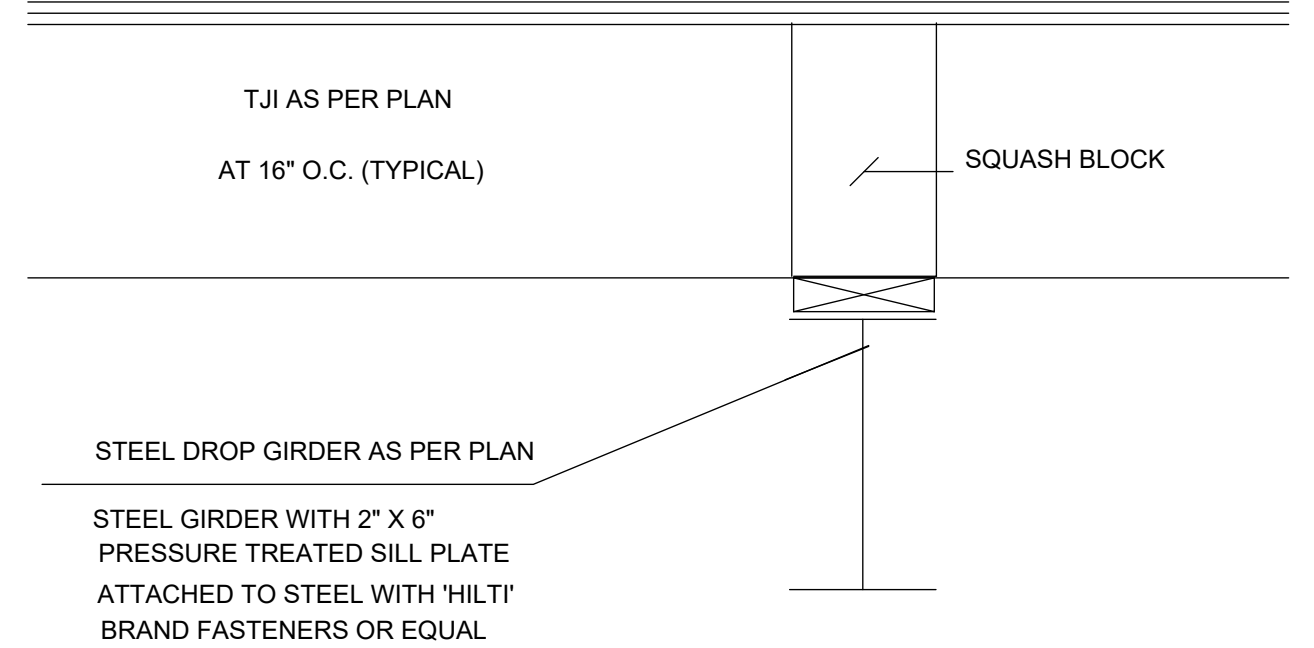
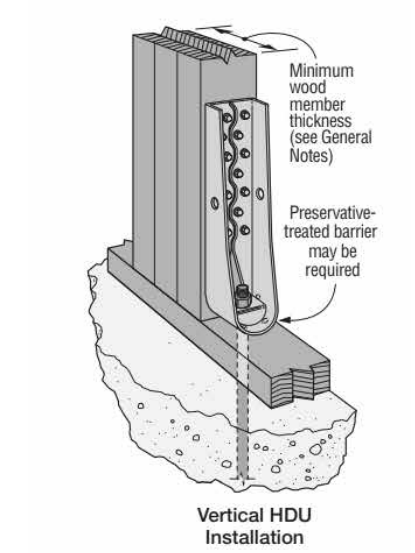
WALL LEGEND :	
SYMBOL	DESCRIPTION
[Symbol]	CONCRETE WALL 10" TYP.
[Symbol]	5 1/2" WALL, 4 1/2" STUD @ 16" O.C. - EXTERIOR WITH R21 INSULATION
[Symbol]	4 1/2" WALL, 3 1/2" STUD @ 16" O.C. - INTERIOR
[Symbol]	5 1/2" WALL, 4 1/2" STUD @ 16" O.C. LOAD BEARING
[Symbol]	5 1/2" WALL, 4 1/2" STUD @ 16" O.C. - INTERIOR



7 LALLY COLUMN BASE, TOP, METAL BRACING
NTS



3 HDU 4- SDS2.5
NTS



STEEL GIRDER DETAIL
NOT TO SCALE



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PRO ARCH CORPORATION LLC
PIRKKO LIISA PATTANAYAK, R.A.
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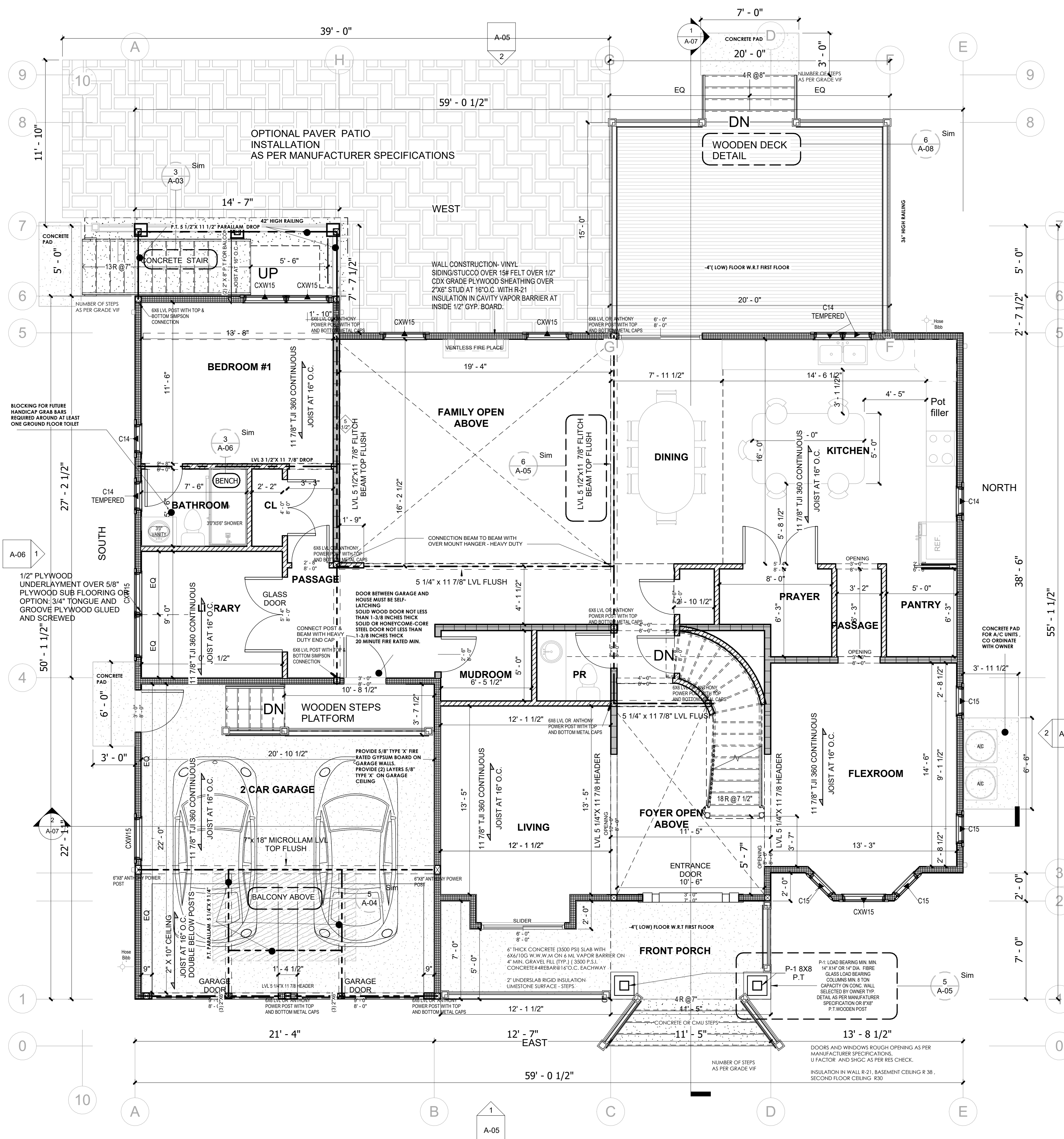
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BASEMENT - FOUNDATION PLAN

OWNER : SHAH VIVEK & NUPUR

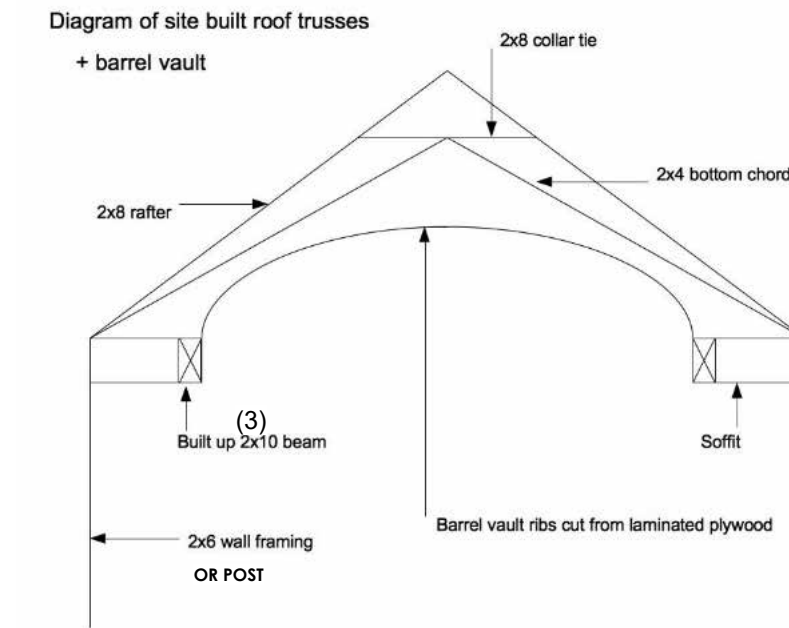
LOCATION : 20 FARMHAVEN AVE
LOT 3, BLOCK 993
EDISON, NJ 08820
ZONE : RA

PROJECT TITLE :
PROPOSED SINGLE FAMILY - TWO STORY NEW RESIDENTIAL BUILDING WITH UNFINISHED BASEMENT

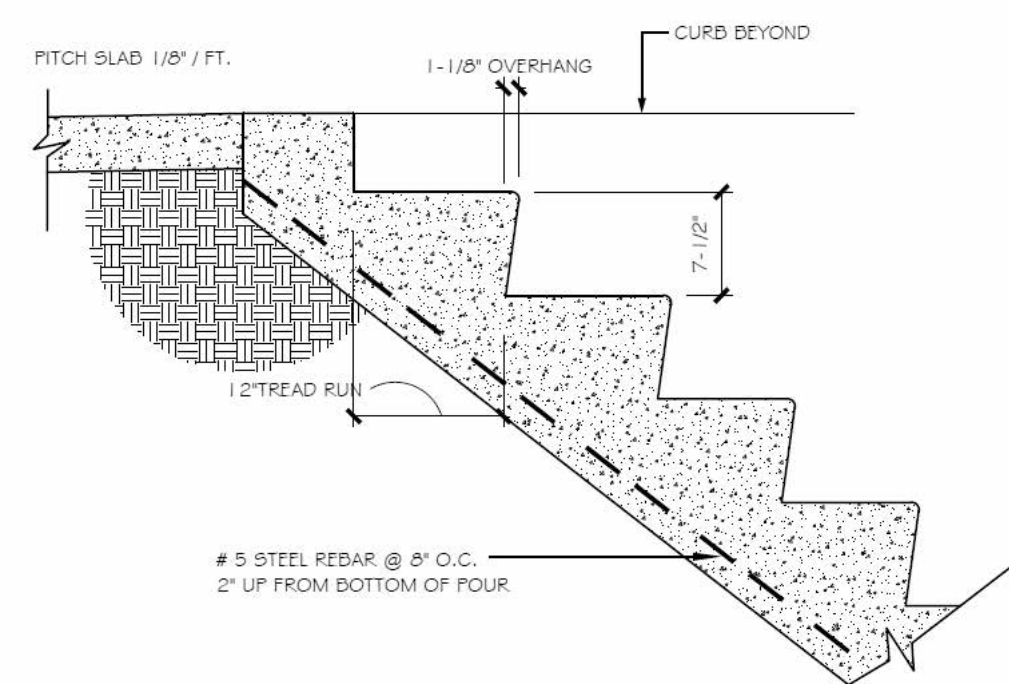
Project Date : 2020/12/24	PIRKKO LIISA PATTANAYAK, R.A. ALSO REG. NO. 14889 (NOT VALID UNLESS SIGNED & SEALED)
Sheet Date : 2023/08/15	
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Drawn By : RSS	
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Sheet No. : 2	Out Of 12
Project Number : 22-P-009	
Drawing No. : A-02	



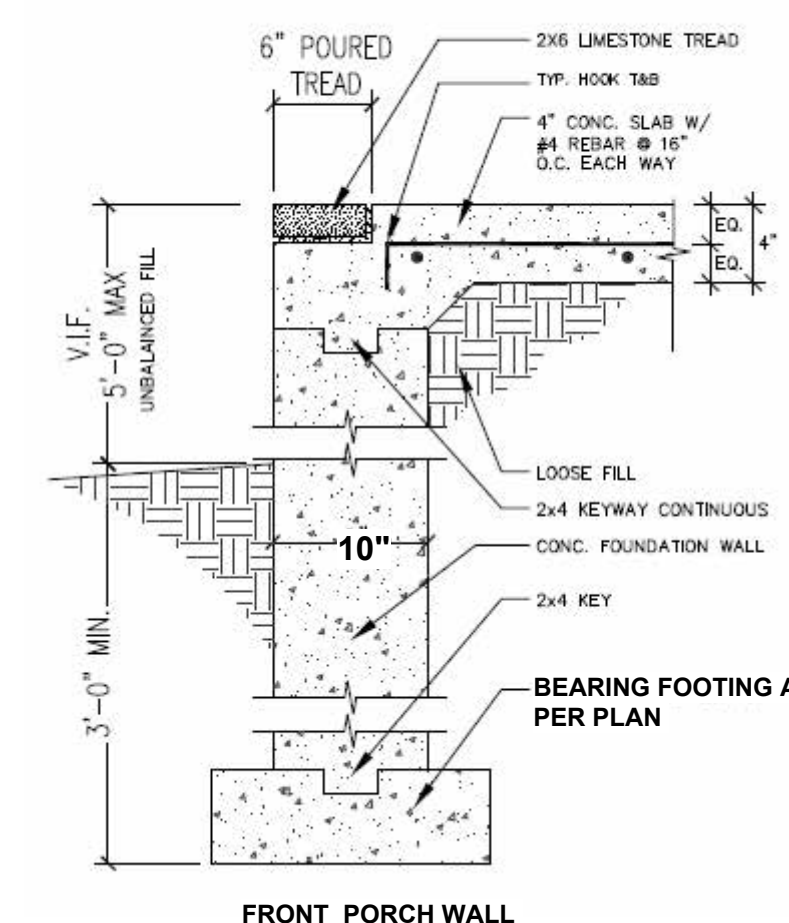
1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



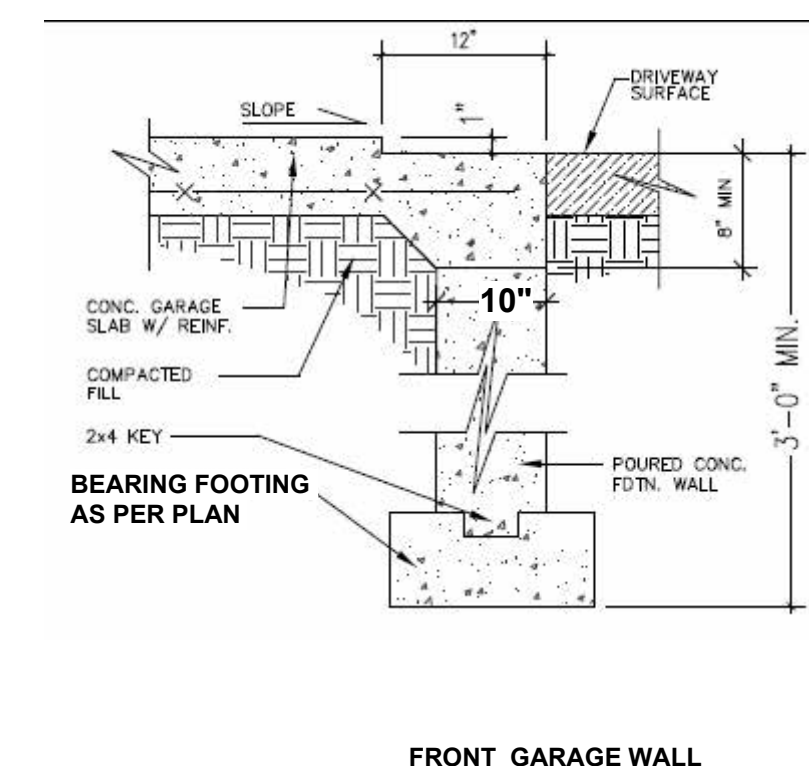
2 BARREL CEILING
NTS



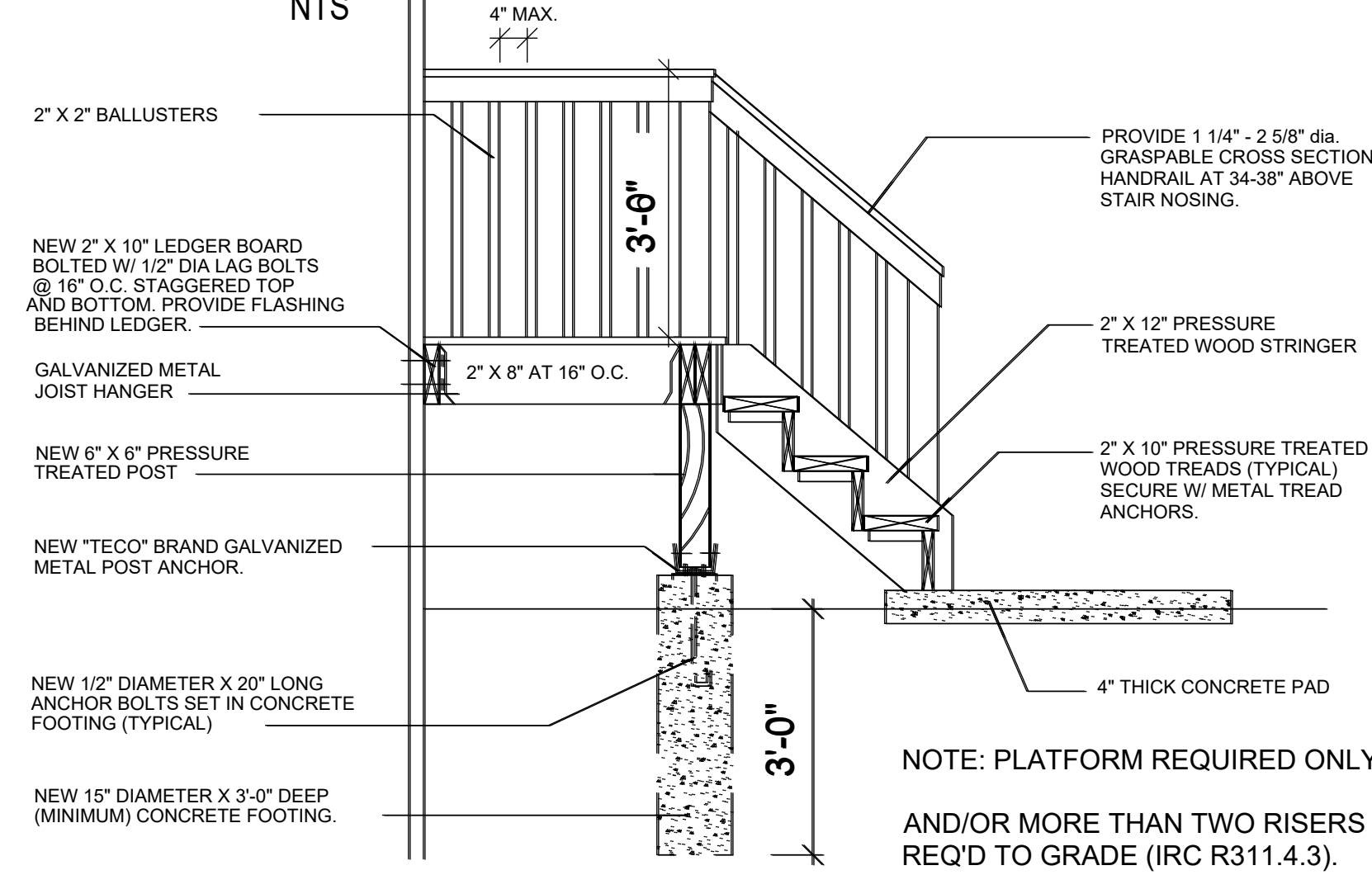
3 BASEMENT ENTRANCE CONCRETE STAIR DETAILS
1/8" = 1'-0"



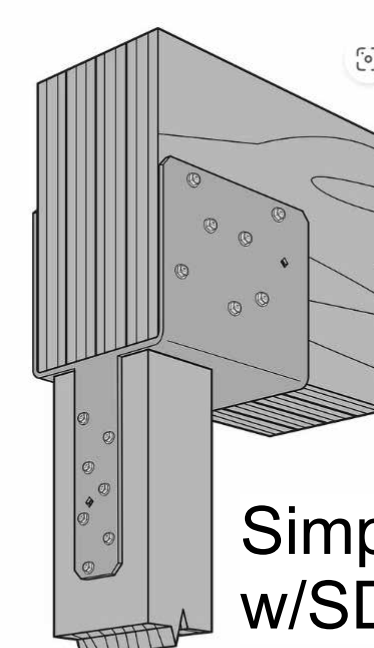
4 FRONT PORCH AND GARAGE WALL DETAILS
NTS



FRONT GARAGE WALL



7 WOODEN PLATFORM -STEP DETAIL
NTS



Typical ECCQ7.1-4SDS2.5 Installation

**Simpson End Column Cap
w/SDS Screws**

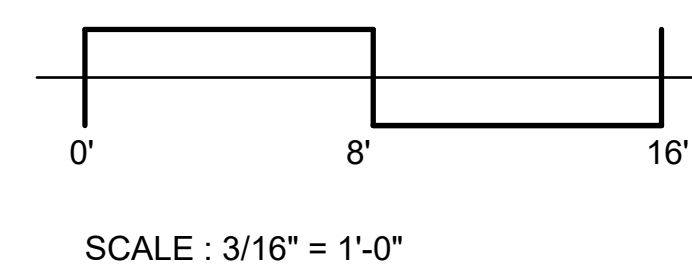
5 POST TO BEAM CONNECTION
NTS

LINTEL SCHEDRULE

ALL OPENINGS IN CONCRETE OR CMU BLOCK WALLS TO HAVE STEEL LINTELS INSTALLED AS FOLLOWS
LINTELS PER EACH 4" WALL THICKNESS

OPENING SPAN	LINTEL SIZE
UP TO 4'-6"	L4" X 4" X 7/16"
JP TO 6'-0"	L5" X 5" X 7/16"
JP TO 8'-0"	L6" X 6" X 7/16"

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No.	Description	Date
1	ISSUED FOR ZONING PERMIT ONLY	2022/06/06
2	ISSUED FOR BUILDING PERMIT	2023/08/15
PRO ARCH CORPORATION LLC PIRKKO LIISA PATTANAYAK, RA 7 PARKER CT., SOUTH AMBOY, NJ 08879 TEL: (732) 816 2764 E mail : pirrko.pattanayak@yahoo.com		
DRAWING TITLE : PROPOSED FIRST FLOOR PLAN AND DETAILS		
OWNER : SHAH VIVEK & NUPUR		
LOCATION : 20 FARMHAVEN AVE LOT 3, BLOCK 993 EDISON, NJ 08820 ZONE : RA		
PROJECT TITLE : PROPOSED SINGLE FAMILY - TWO STORY NEW RESIDENTIAL BUILDING WITH UNFINISHED BASEMENT		
Project Date :	2020/12/24	
Sheet Date :	2023/08/15	
Scale	As indicated	
Drawn By	RSS	
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Sheet No.:	3	Out Of 12
Project Number	22-P-009	
Drawing No.	A-03	



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DRAWING TITLE :

**PROPOSED SECOND FLOOR
PLAN. DETAILS. TRAY CEILING**

OWNER : SHAH VIVEK & NUPUR

LOCATION : 20 FARMHAVEN AVE
LOT 3, BLOCK 993
EDISN, NJ 08820
ZONE : RA

PROJECT TITLE :

**PROPOSED SINGLE FAMILY -TWO STORY
NEW RESIDENTIAL BUILDING WITH
UNFINISHED BASEMENT**

Project Date :	2020/12/24	PIRKKO LIISA PATTANAYAK, R.A. N/Aging No. 14699 (NOT VALID-UNLESS SIGNED & SEALED)
Sheet Date :	2023/08/15	
Scale	As indicated	
Drawn By	RSS	
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Sheet No.:	4	Out Of 12
Project Number	22-P-009	
Drawing No.		A-04



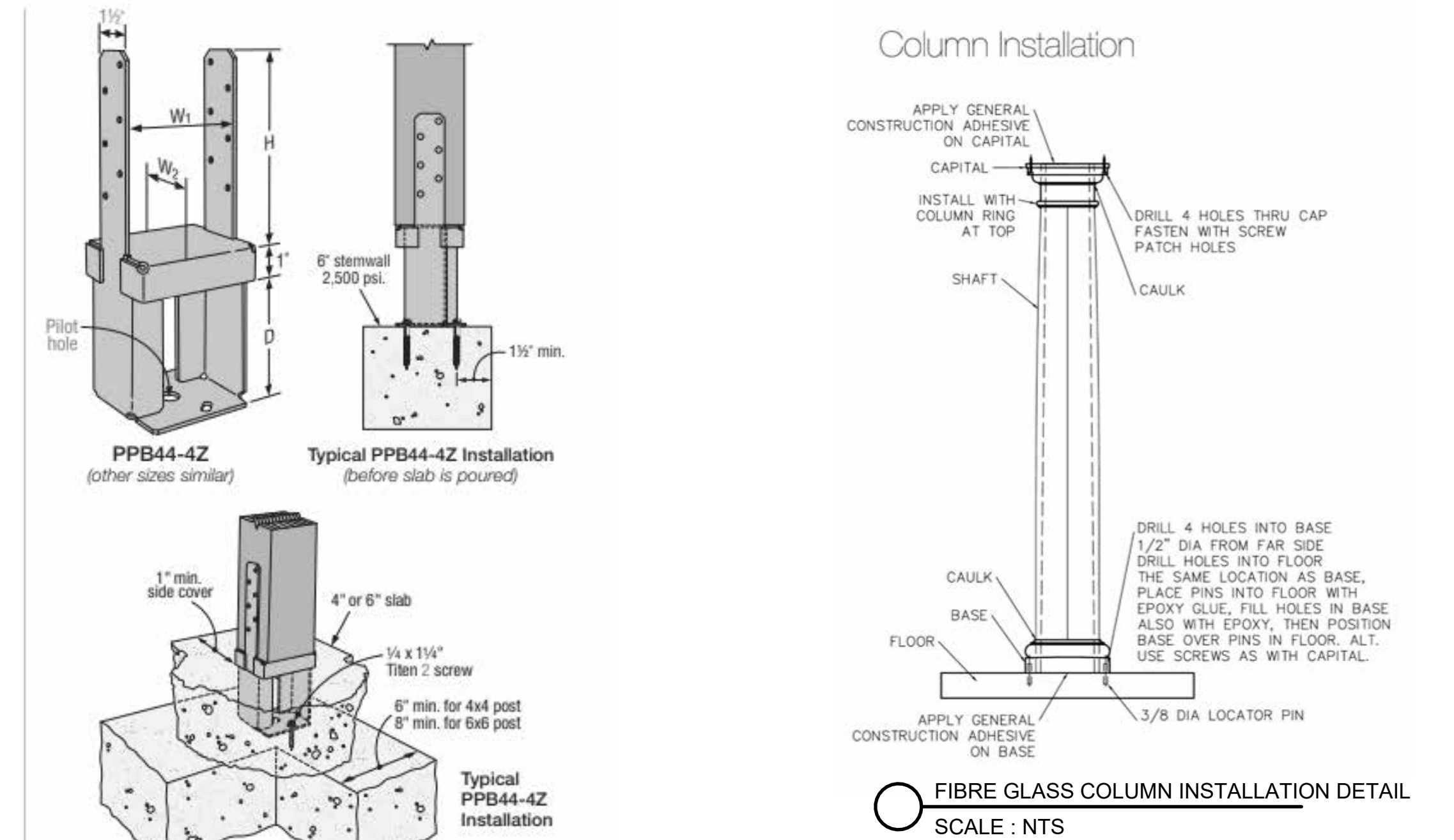
REAR ELEVATION (WEST)

1/4" = 1'-0"



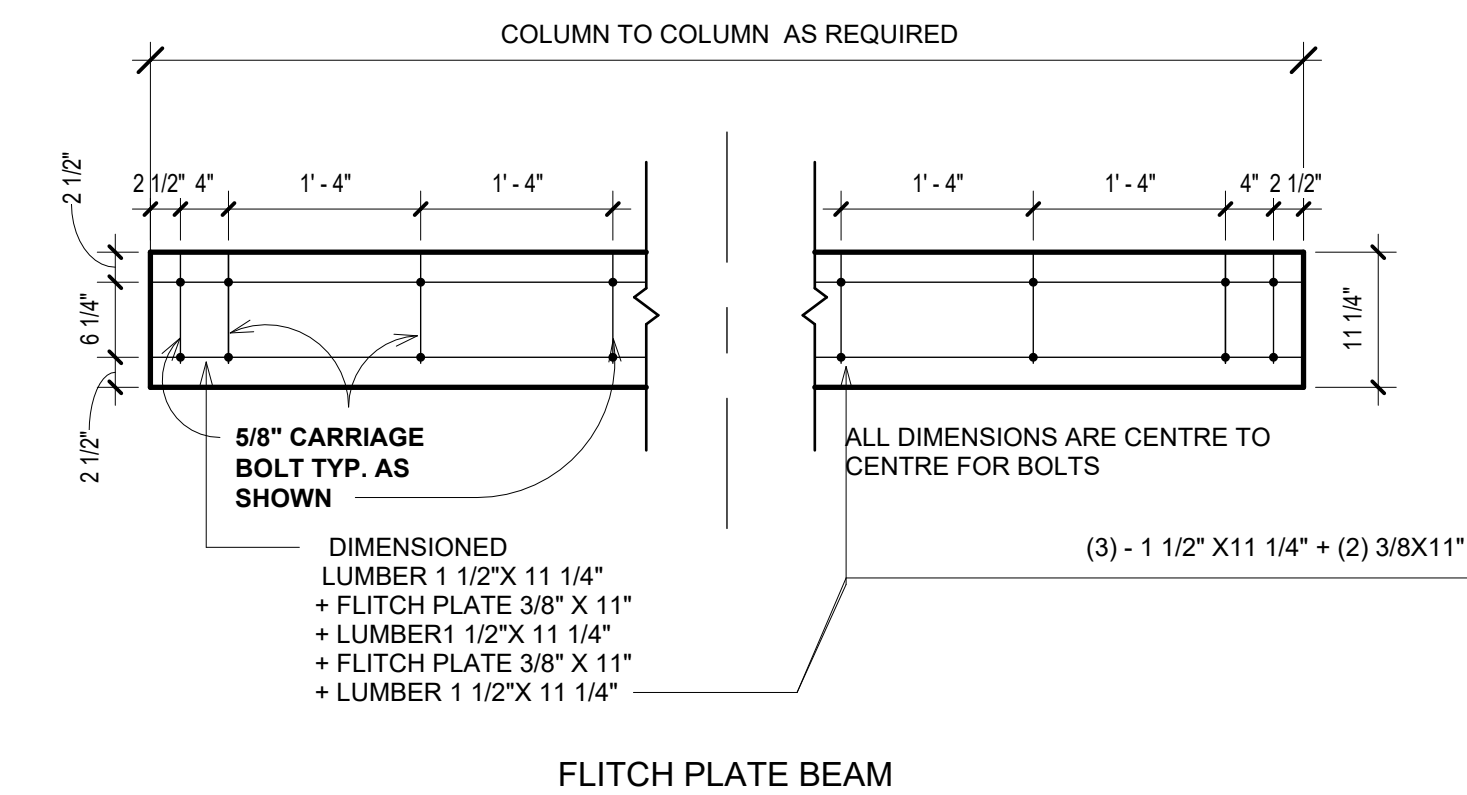
FRONT ELEVATION (EAST)

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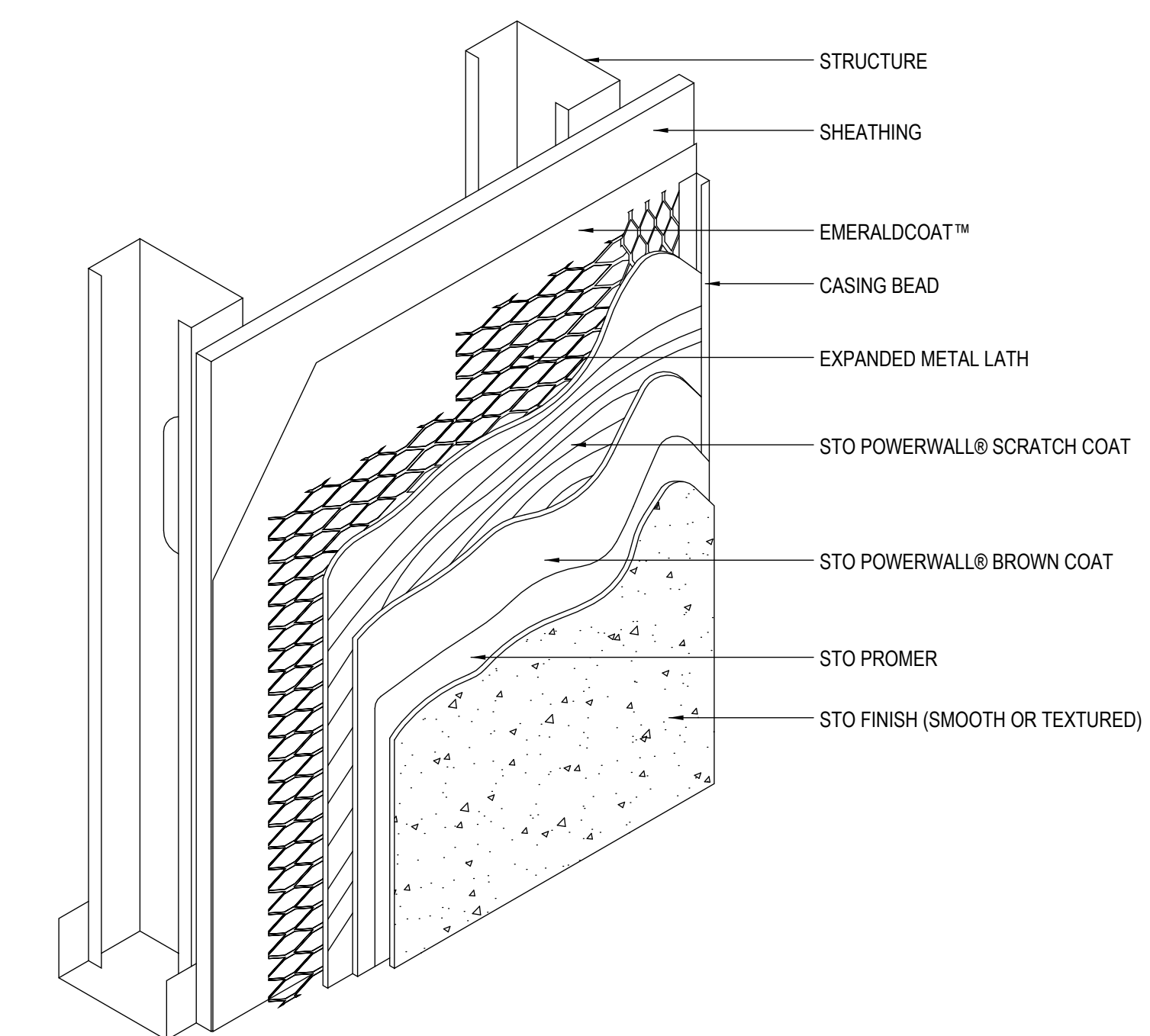
PORCH COLUMN DETAILS

NTS



FLITCH BEAM 5 1/2"X 11/2" DETAIL

NTS



STUCCO DETAIL

NTS

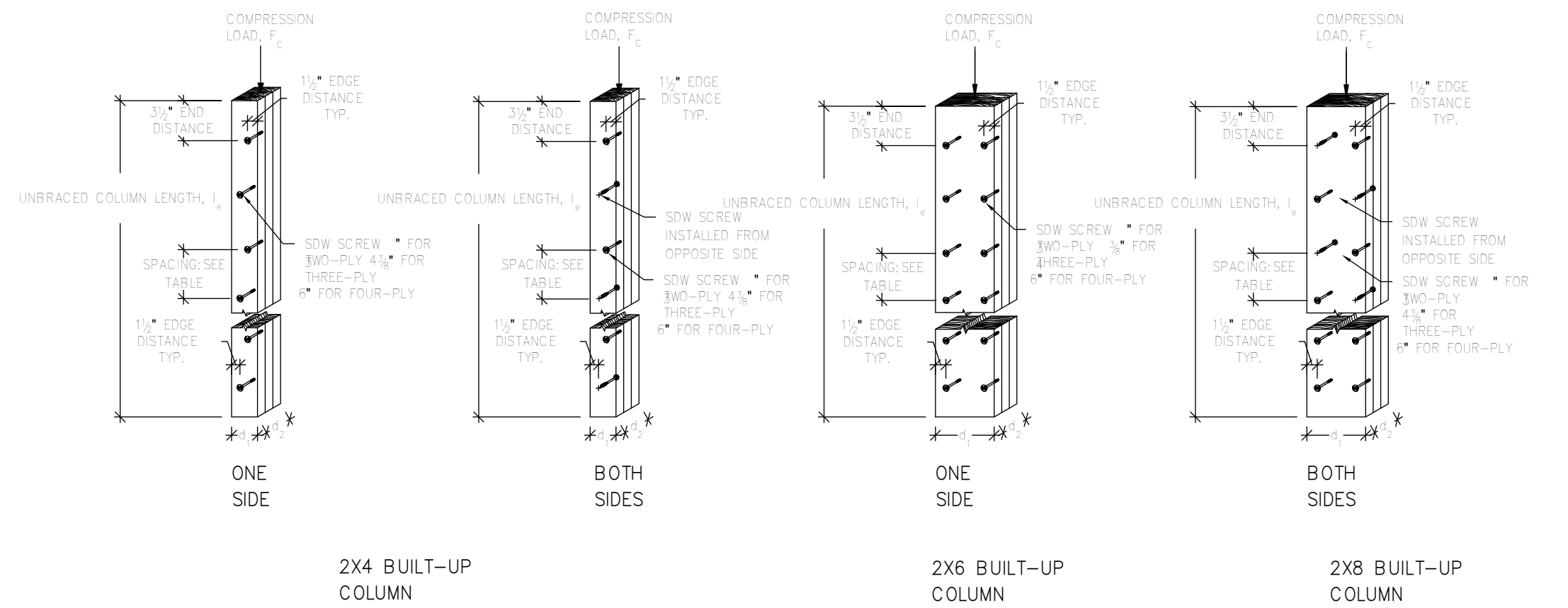
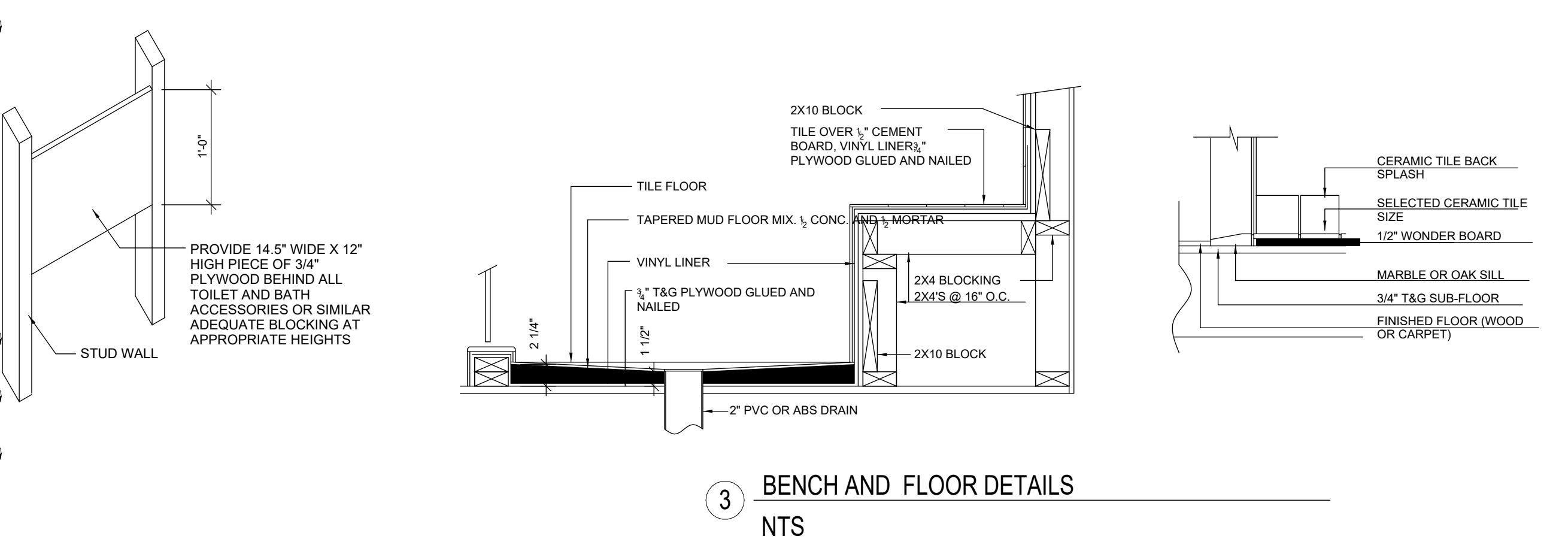
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2	ISSUED FOR BUILDING PERMIT	2023/08/15
PRO ARCH CORPORATION LLC		
PIRKKO LIISA PATTANAYAK, RA		
7 PARKER CT., SOUTH AMBOY, NJ 08879		
TEL: (732) 816-2764		
E mail : pirkko.pattanayak@yahoo.com		
DRAWING TITLE :		
FRONT, REAR ELEVATIONS, PORCH COLUMN, STUCCO DETAILS		
OWNER : SHAH VIVEK & NUPUR		
LOCATION : 20 FARMHAVEN AVE LOT 3, BLOCK 993 EDISON, NJ 08820 ZONE : RA		
PROJECT TITLE :		
PROPOSED SINGLE FAMILY -TWO STORY NEW RESIDENTIAL BUILDING WITH UNFINISHED BASEMENT		
Project Date : 2020/12/24		
Sheet Date : 2023/08/15		
Scale	As indicated	PIRKKO LIISA PATTANAYAK, R.A. ALR 002, 1/8/2018 (NOT VALID UNLESS SIGNED & SEALED)
Drawn By	RSS	
Checked By	OWNER ,PLP	
Sheet No.: 5	Out Of 12	
Project Number 22-P-009		
Drawing No.		A-05



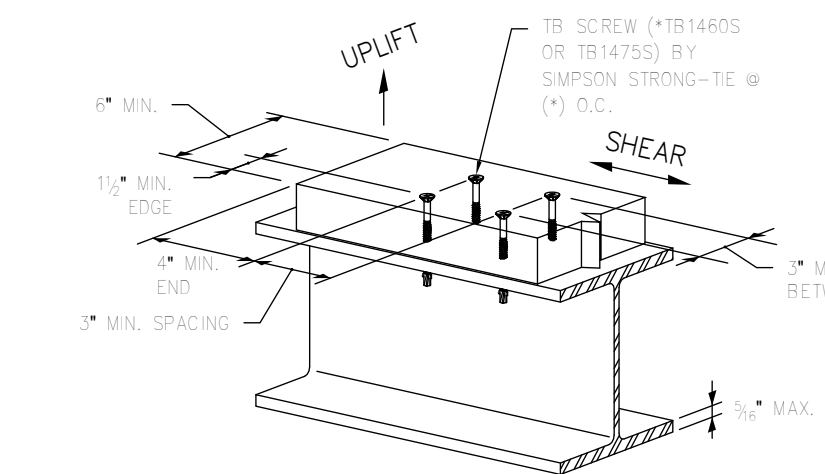
2 RIGHT ELEVATION (NORTH)
1/4" = 1'-0"



1 LEFT ELEVATION (SOUTH)
1/4" = 1'-0"



4 BUILT UP COLUMN ASSEMBLY
NTS



- NOTES:
- 1. FOR USE WITH STEEL MEMBERS FROM 16 GAUGE TO 3/8" THICK.
 - 2. USE INCREASED ALLOWABLE LOADS (C_u = 1.6) ONLY WHEN RESISTING WIND OR SEISMIC FORCES.
 - 3. PROTECTION: REFERENCE UPLIFT AND SHEAR VALUES WERE TAKEN FROM SIMPSON STRONG-TIE FASTENING SYSTEMS TECHNICAL SUPPLEMENT.

MODEL	LENGTH	NOMINAL WOOD THICKNESS (in.)	STEEL THICKNESS [mil (ga.)]	DFL/SP			
				UPLIFT		SHEAR	
TB1460S	2 1/2"	2x	54 (16)	C _u = 1.0	C _u = 1.0	C _v = 1.0	C _v = 1.0
			68 (14)	225	225	210	335
			97-375 (12-5/16")	245	390	215	345
TB1475S	3"	2x	54 (16)	195	195	210	335
			68 (14)	225	225	210	335
			97-375 (12-5/16")	245	390	215	345

1. FOR USE WITH STEEL MEMBERS FROM 16 GAUGE TO 3/8" THICK.
2. USE INCREASED ALLOWABLE LOADS (C_u = 1.6) ONLY WHEN RESISTING WIND OR SEISMIC FORCES.
3. PROTECTION: REFERENCE UPLIFT AND SHEAR VALUES WERE TAKEN FROM SIMPSON STRONG-TIE FASTENING SYSTEMS TECHNICAL SUPPLEMENT.

STRONG-DRIVE® TB
WOOD-TO-STEEL
SCREW
DETAILS

5 WOOD TO STEEL BEAM STRONG DRIVE TWO ROWS STAGGERED
NTS

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PRO ARCH CORPORATION LLC
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E mail : pirrko.pattanayak@yahoo.com

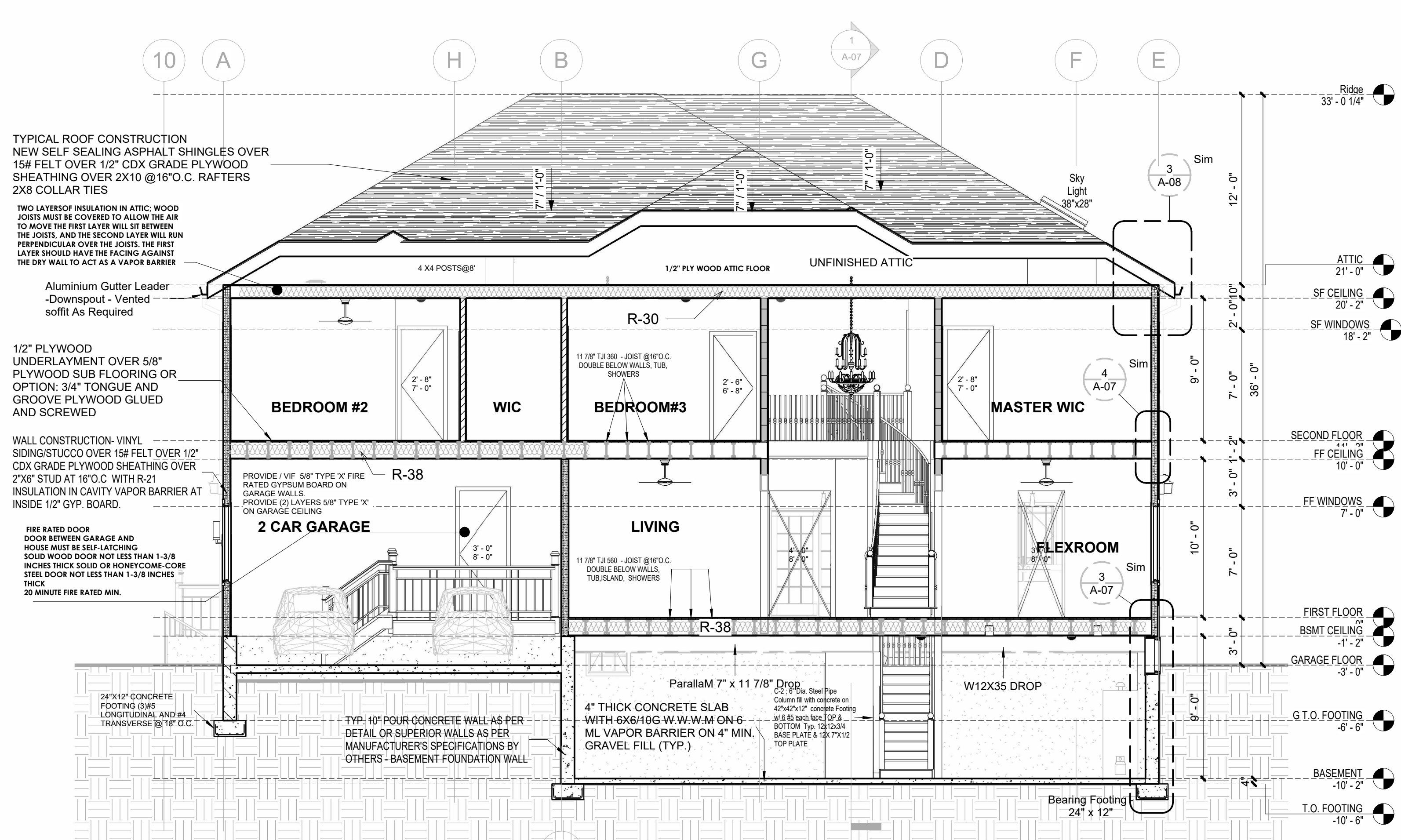
DRAWING TITLE :
SIDE ELEVATIONS, BARREL
CEILING, BASEMENT
ENTRANCE STAIR, PORCH
DETAILS

OWNER : SHAH VIVEK & NUPUR
LOCATION : 20 FARMHAVEN AVE
LOT 3, BLOCK 993
EDISON, NJ 08820
ZONE : RA

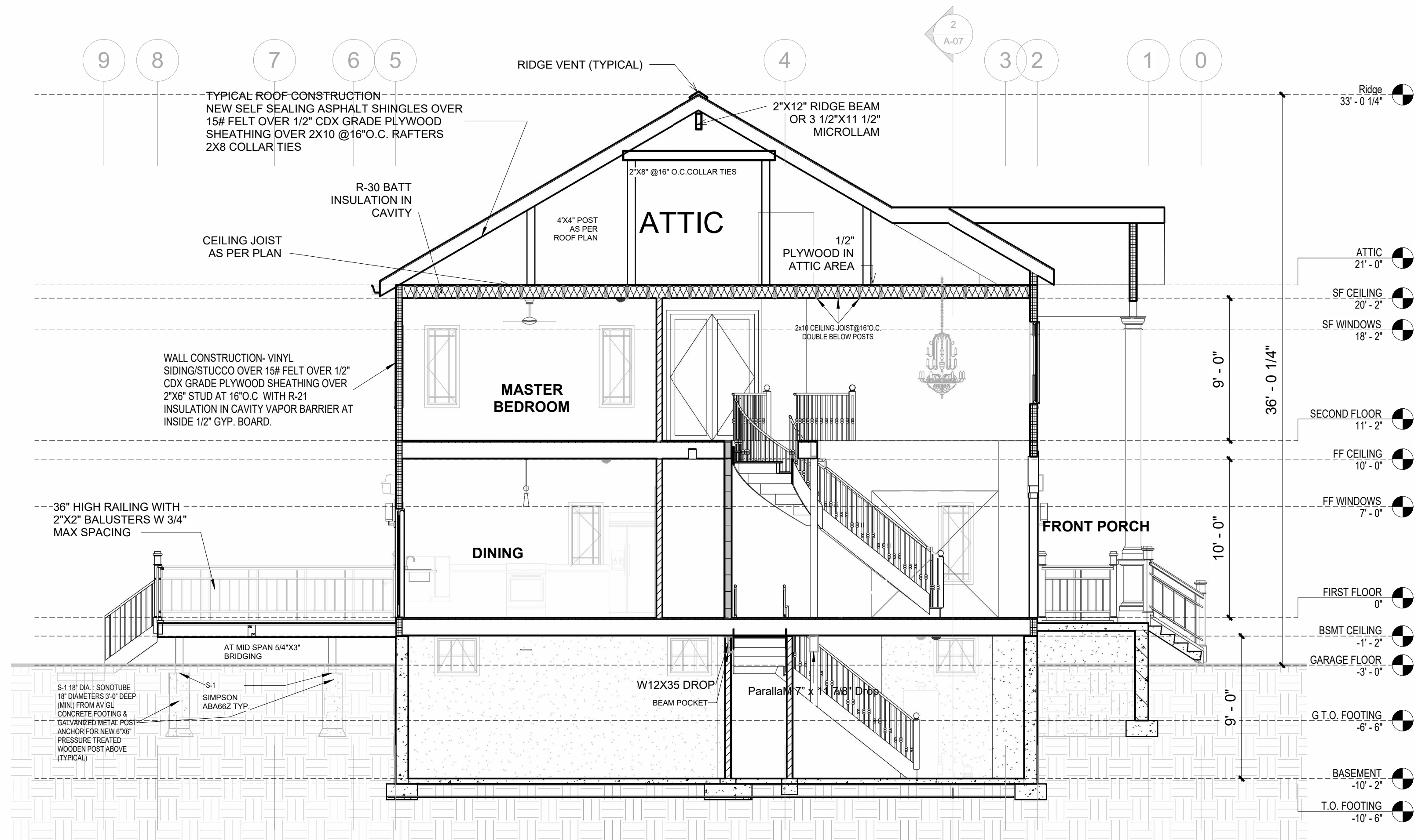
PROJECT TITLE :
PROPOSED SINGLE FAMILY - TWO STORY
NEW RESIDENTIAL BUILDING WITH
UNFINISHED BASEMENT

Project Date : 2020/12/24
Sheet Date : 2023/08/15
Scale : As indicated
Drawn By : RSS
Checked By : OWNER,PLP
Sheet No.: 6 Out Of 12
Project Number : 22-P-009

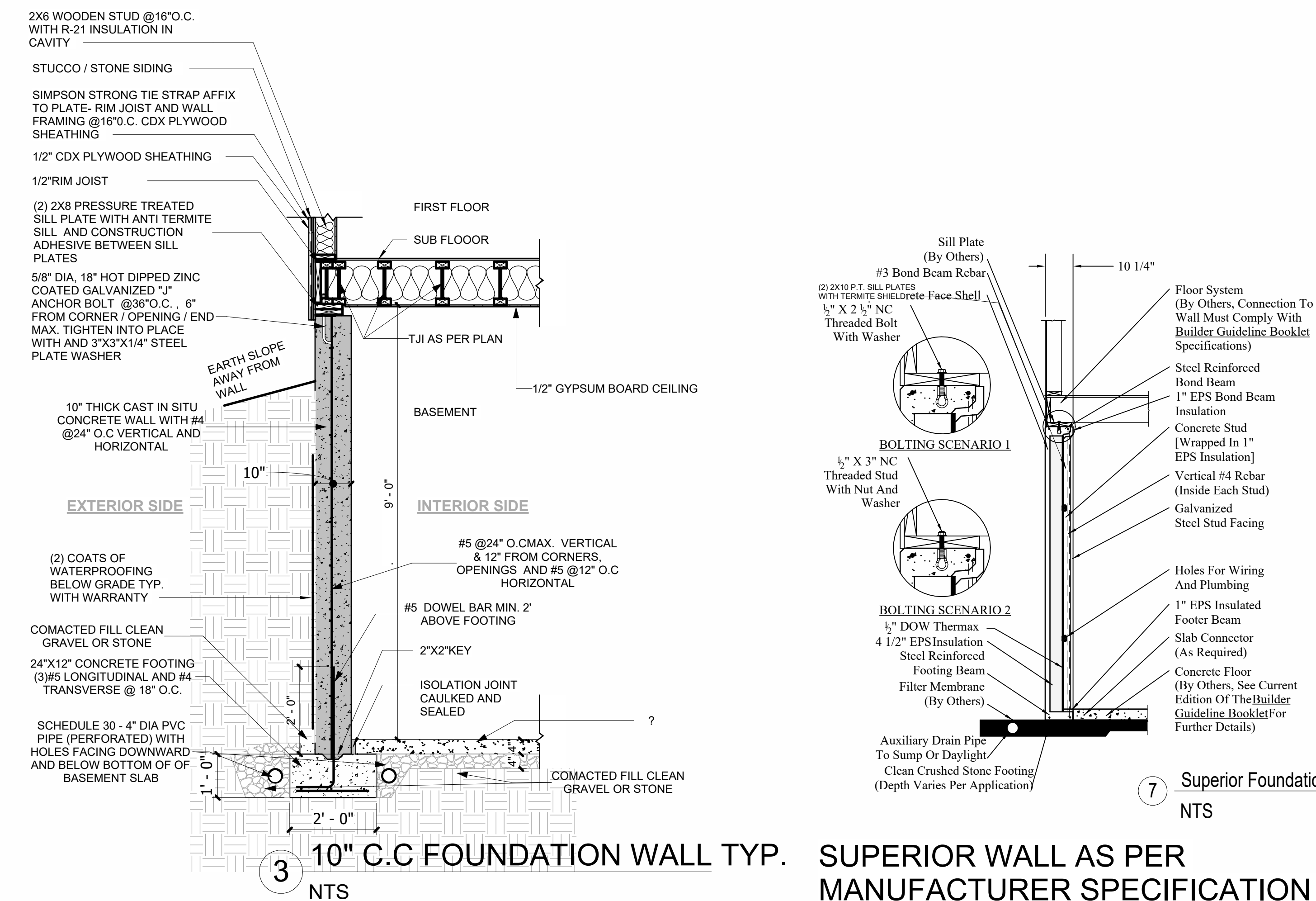
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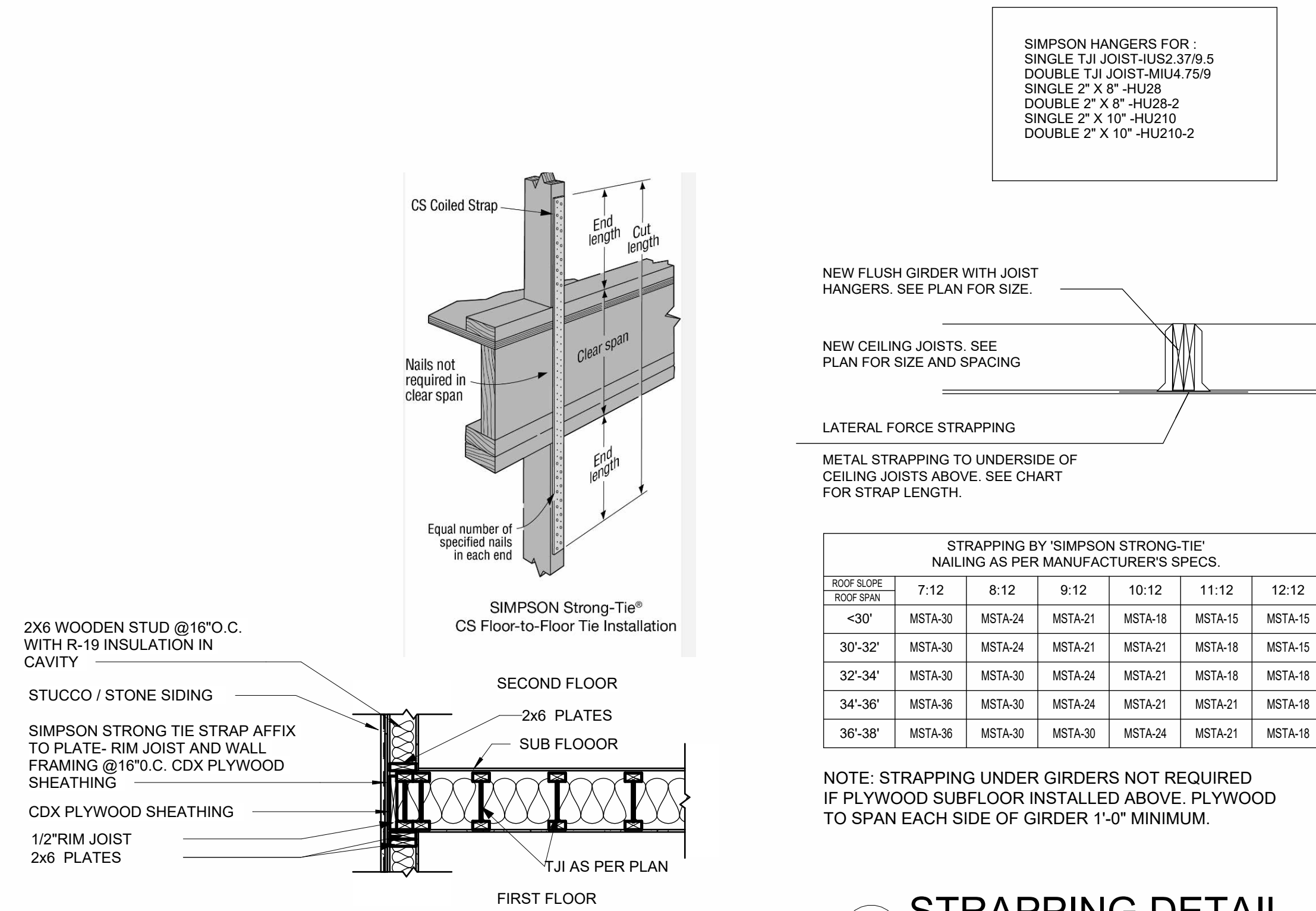
2 LONGITUDINAL SECTION
3/16" = 1'-0"



1 TRANSVERSE SECTION
3/16" = 1'-0"



SUPERIOR WALL AS PER MANUFACTURER SPECIFICATION



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DRAWING TITLE :
TRANSVERSE AND LONGITUDINAL SECTION, CONCRETE WALL DETAILS, FRAMING , GIRDER DETAILS

OWNER : SHAH VIVEK & NUPUR

LOCATION : 20 FARMHAVEN AVE
LOT 3, BLOCK 993
EDISON, NJ 08820
ZONE : RA

PROJECT TITLE :
PROPOSED SINGLE FAMILY- TWO STORY NEW RESIDENTIAL BUILDING WITH UNFINISHED BASEMENT

Project Date : 2020/12/24

Sheet Date : 2023/08/15

Scale : As indicated

Drawn By : RSS

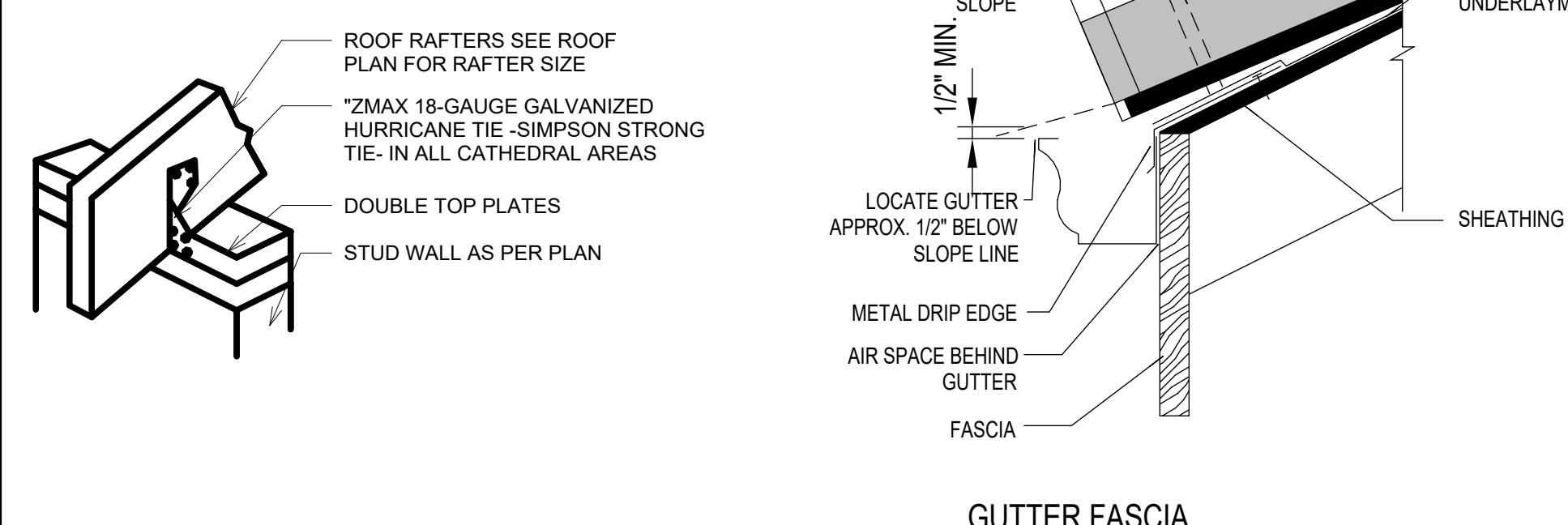
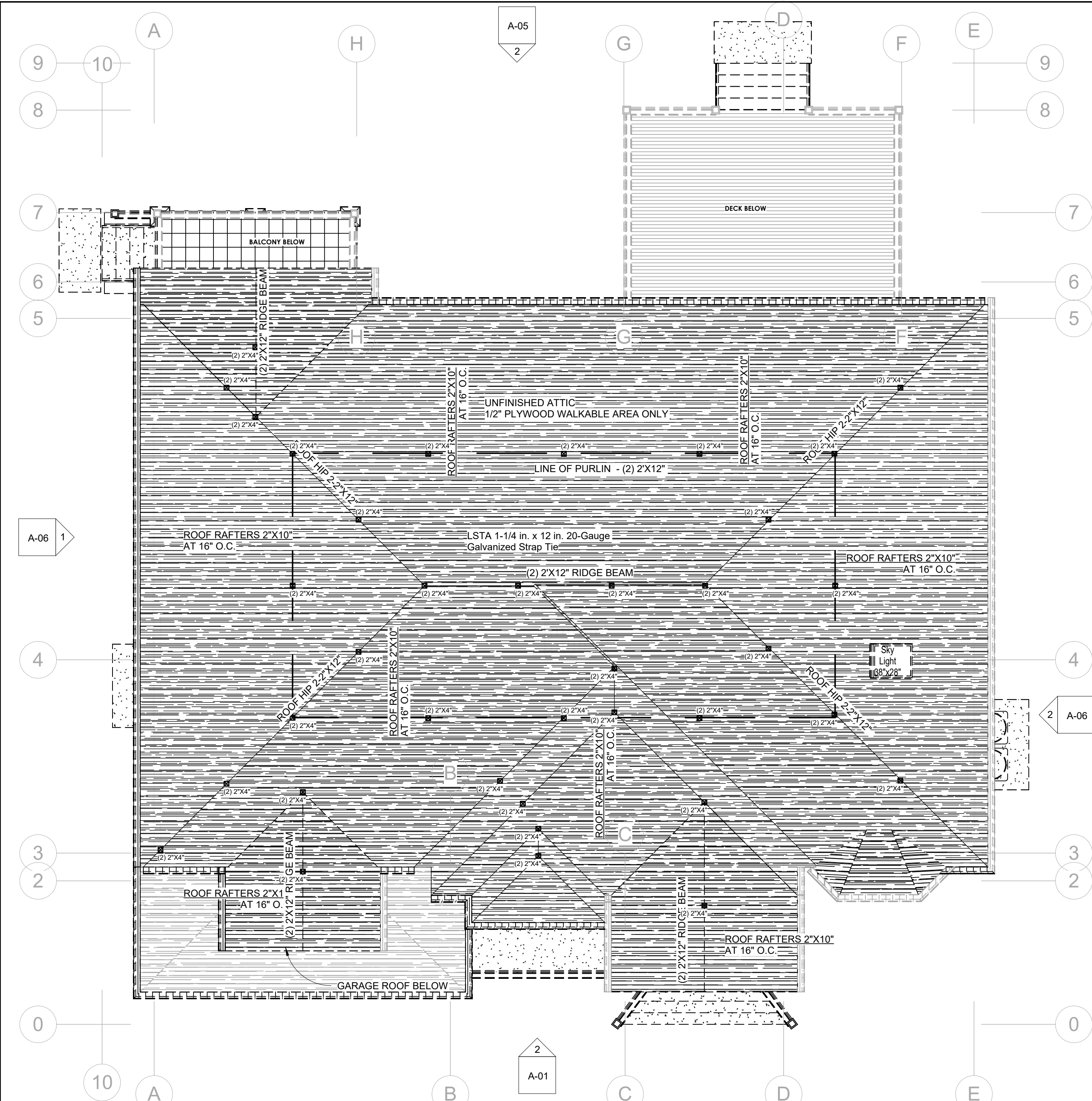
Checked By : OWNER /PLP

Sheet No.: 7 Out Of 12

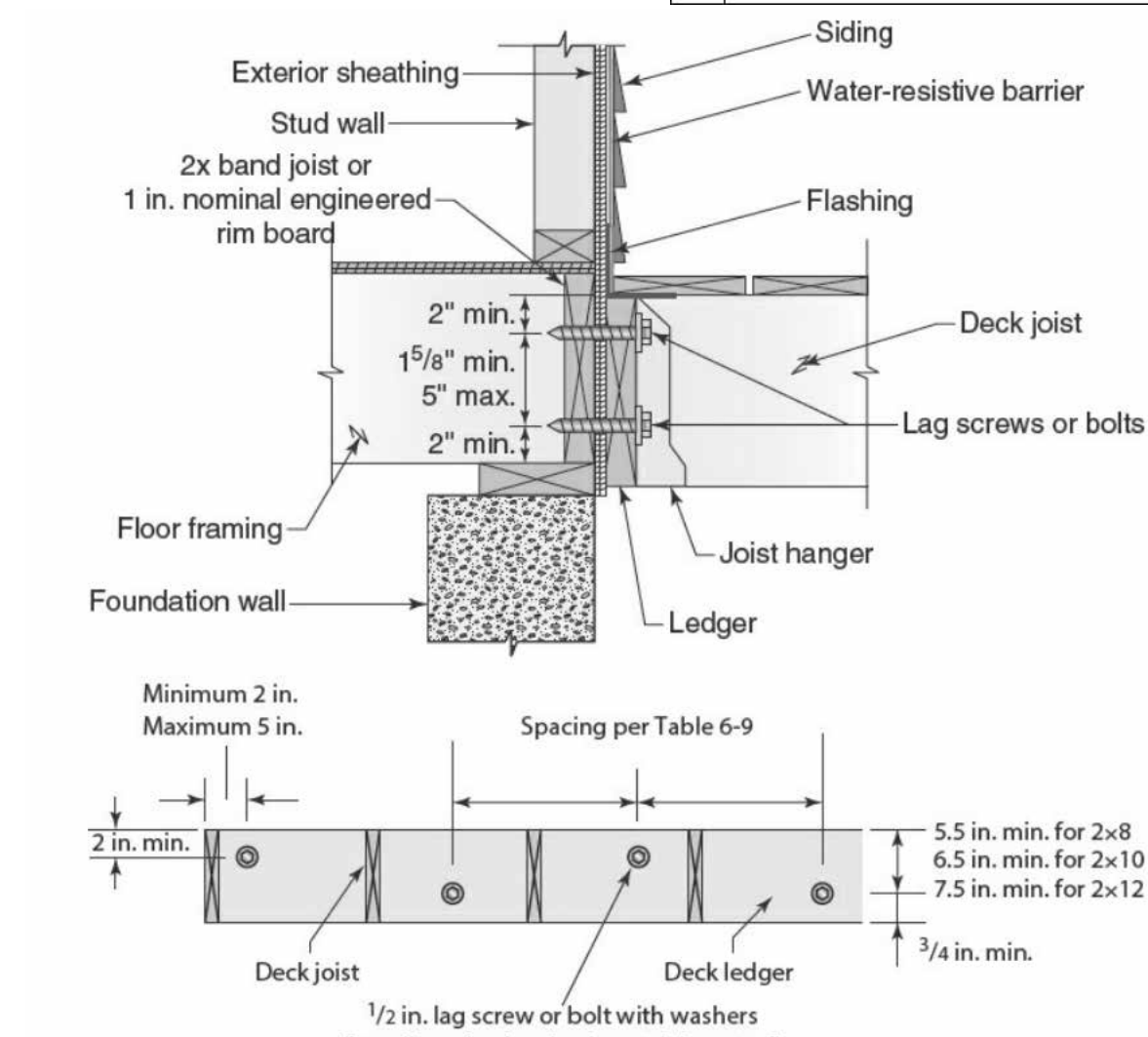
Project Number : 22-P-009

Drawing No. : A-07

PIRKKO LIISA PATTANAYAK, RA
ALSO SEE: 1688
(NOT VALID UNLESS SIGNED & SEALED)



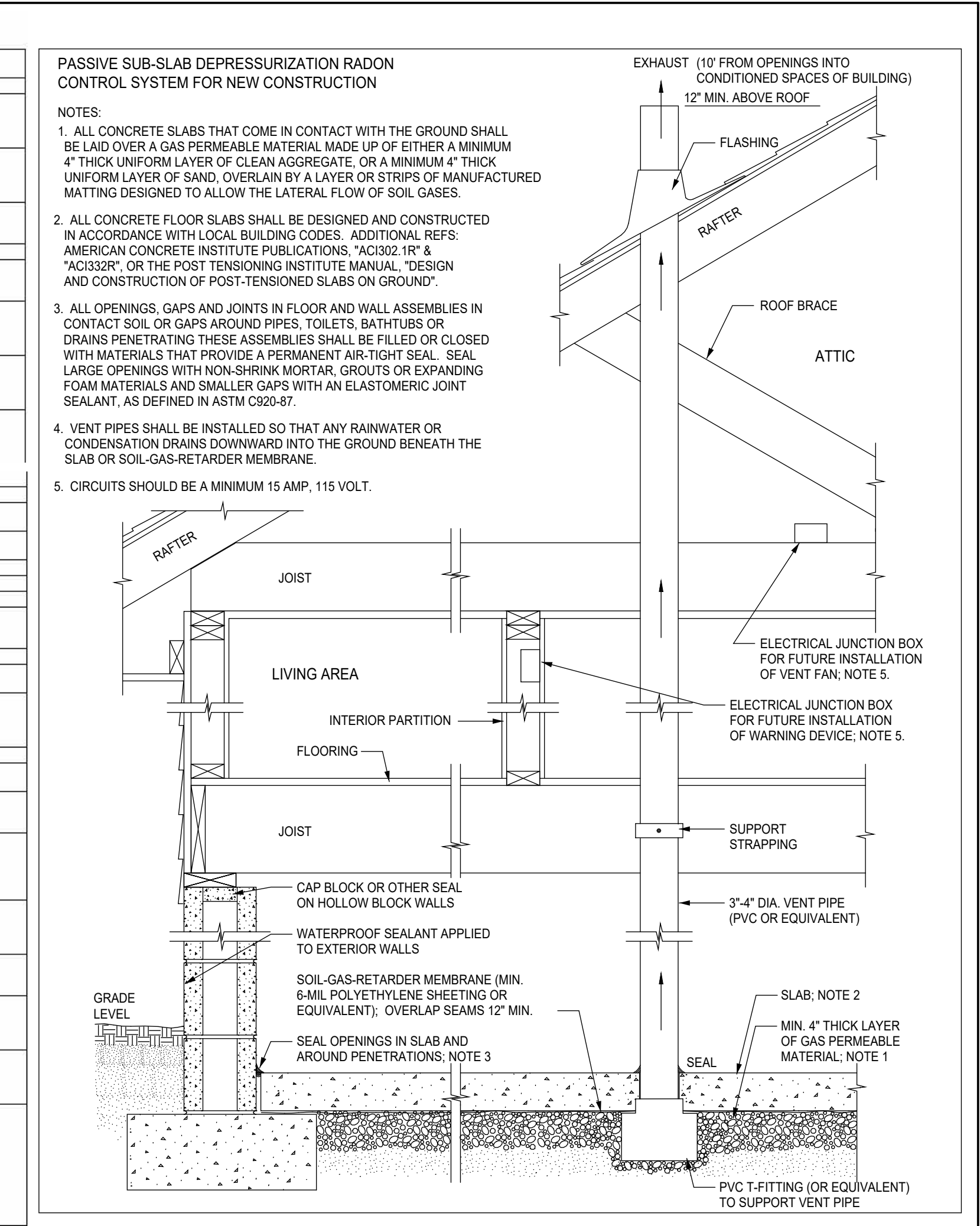
3 HURRICANE TIE NTS



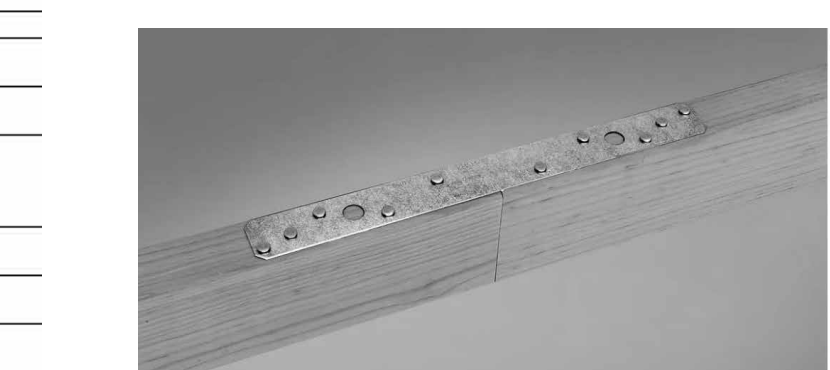
4 DECK LEDGER NTS

TABLE R602.3(1) FASTENING SCHEDULE			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a, b}	SPACING AND LOCATION
Roof			
1	Blocking between ceiling joists or rafters to top plate	4-8s box (2 1/2" x 0.131") or 3-8s common (2 1/2" x 0.131") or 3-10s box (3" x 0.128") or 3-3" x 0.131" nails	Toe nail
2	Ceiling joists to top plate	4-8s box (2 1/2" x 0.131") or 3-8s common (2 1/2" x 0.131") or 3-10s box (3" x 0.128") or 3-3" x 0.131" nails	Pie/ joist, toe nail
3	Ceiling joist not attached to parallel rafter; laps over partitions (see Section R602.5.2 and Table R602.5.2)	4-10s box (3" x 0.128") or 3-10s common (3 1/2" x 0.162") or 4-3" x 0.131" nails	Face nail
4	Ceiling joist attached to parallel rafter (heel joint) (see Section R602.5.2 and Table R602.5.2)	Table R602.5.2	Face nail
5	Center tie to rafter; face nail or 1 1/4" x 20 ga. ridge strap to rafter	4-10s box (3" x 0.128") or 3-10s common (3 1/2" x 0.148") or 4-3" x 0.131" nails	Face nail each rafter
6	Rafter or roof truss to plate	3-10s box nails (3 1/2" x 0.135") or 3-10s common nails (3 1/2" x 0.148") or 4-10s box (3" x 0.128") or 4-3" x 0.131" nails	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss
7	Roof rafters to ridge, valley or top rafters or roof rafter to minimum 2" ridge beam	4-10s box (3" x 0.128") or 3-10s common (3 1/2" x 0.135") or 4-10s box (3" x 0.128") or 4-3" x 0.131" nails	Toe nail
		3-10s box (3 1/2" x 0.135") or 3-10s common (3 1/2" x 0.148") or 4-10s box (3" x 0.128") or 4-3" x 0.131" nails	End nail
Wall			
8	Stud to stud (not at braced wall panels)	16s common (3 1/2" x 0.162") or 10s box (3" x 0.128") or 3" x 0.131" nails	24" o.c. face nail
9	Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	16s box (3 1/2" x 0.135") or 3" x 0.131" nails	16" o.c. face nail
10	Buildup header (2" to 2" header with 1/2" spacer)	16s common (3 1/2" x 0.162")	16" o.c. face nail
11	Continuous header to stud	16s box (3 1/2" x 0.135") or 4-8s common (2 1/2" x 0.131") or 4-10s box (3" x 0.128")	16" o.c. each edge face nail
12	Top plate to top plate	16s common (3 1/2" x 0.162")	16" o.c. face nail
13	Double top plate splice	3-16s box (3 1/2" x 0.162") or 3-16s box (3 1/2" x 0.135") or 3-16s box (3 1/2" x 0.128") or 12-3" x 0.131" nails	Face nail on each side of end joint (minimum 24" lap splice length each side of end joint)
14	Bottom plate to joist, rim joist, band joist or blocking (not at braced wall panels)	16s box (3 1/2" x 0.135") or 3" x 0.131" nails	16" o.c. face nail
15	Bottom plate to joist, rim joist, band joist or blocking (at braced wall panels)	3-16s box (3 1/2" x 0.135") or 3-16s common (3 1/2" x 0.162") or 4-3" x 0.131" nails	2 each 16" o.c. face nail 4 each 16" o.c. face nail
16	Top or bottom plate to stud	4-8s box (2 1/2" x 0.131") or 4-8s common (2 1/2" x 0.131") or 4-10s box (3" x 0.128") or 4-3" x 0.131" nails	Toe nail
17	Top plates, laps at corners and intersections	3-10s box (3" x 0.128") or 2-16s common (3 1/2" x 0.162") or 3-3" x 0.131" nails	End nail
18	1" brace to each stud and plate	3-8s box (2 1/2" x 0.131") or 2-8s common (2 1/2" x 0.131") or 2-10s box (3" x 0.128") or 2 staples, 1" crown, 18 ga. 1 1/2" long	Face nail
19	1" x 8" sheathing to each bearing	3-8s box (2 1/2" x 0.131") or 2-8s common (2 1/2" x 0.131") or 2-10s box (3" x 0.128") or 2 staples, 1" crown, 18 ga. 1 1/2" long	Face nail
20	1" x 8" and wider sheathing to each bearing	Wider than 1" x 8": 4-8s box (2 1/2" x 0.131") or 4-8s common (2 1/2" x 0.131") or 3-10s box (3" x 0.128") or 4 staples, 1" crown, 18 ga. 1 1/2" long	Face nail

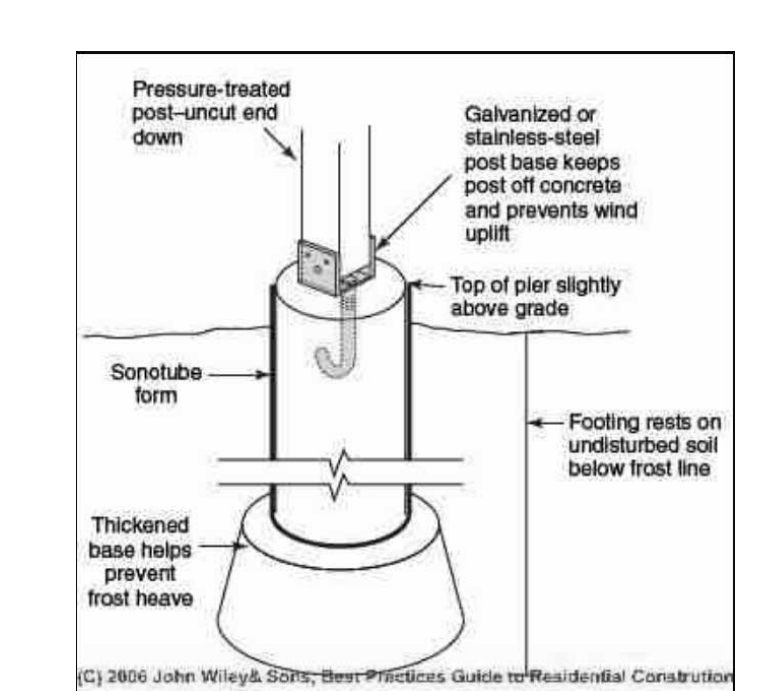
Floor			
21	Joist to sill, top plate or girder	4-8s box (2 1/2" x 0.131") or 3-8s common (2 1/2" x 0.131") or 3-10s box (3" x 0.128") or 3-3" x 0.131" nails	Toe nail
22	Rim joist, band joist or blocking to sill or top plate (roof applications also)	8s common (2 1/2" x 0.131") or 10s box (3" x 0.128") or 3" x 0.131" nails	4" o.c. toe nail
23	1" x 6" subfloor or less to each joist	3-8s box (2 1/2" x 0.131") or 2-8s common (2 1/2" x 0.131") or 2-10s box (3" x 0.128") or 2 staples, 1" crown, 18 ga. 1 1/2" long	8" o.c. toe nail
24	2" subfloor to joist or girder	3-16s box (3 1/2" x 0.135") or 2-16s common (3 1/2" x 0.162")	Blind and face nail
25	2" planks (plank & beam-floor & roof)	3-16s box (3 1/2" x 0.135") or 2-16s common (3 1/2" x 0.162")	At each bearing, face nail
26	Band or rim joist to joist	3-16s common (3 1/2" x 0.162") or 4-10 box (3" x 0.128") or 4-3" x 0.131" nails or 4-3" x 14 ga. staples, 1 1/2" crown	End nail
27	Buildup girders and beams, 2-inch lumber joists	20s common (4" x 0.162") or 10s box (3" x 0.128") or 3" x 0.131" nails	Nail each layer as follows: 32" o.c. at top and bottom and staggered
		Face	24" o.c. face nail at top and bottom staggered on opposite sides
		Face	Face nail at ends and at each splice
28	Ledger strip supporting joists or rafters	4-16s box (3 1/2" x 0.135") or 3-16s common (3 1/2" x 0.162") or 4-10s box (3" x 0.128") or 4-3" x 0.131" nails	At each joist or rafter, face nail
29	Bridging or blocking to joist	2-10s box (3" x 0.128") or 2-8s common (2 1/2" x 0.131") or 2-3" x 0.131" nails	Each end, toe nail



TYPICAL DESIGN FOR A SUB-MEMBRANE DEPRESSURIZATION (SMD) SYSTEM



5 LSTA 1-1/4 in. x 12 in. 20-Gauge Galvanized Strap Tie NTS



SONO TUBE DETAILS



6 SONO TUBE - BEAM POST CONNECTION - LEDGER BOARD DETAIL NTS

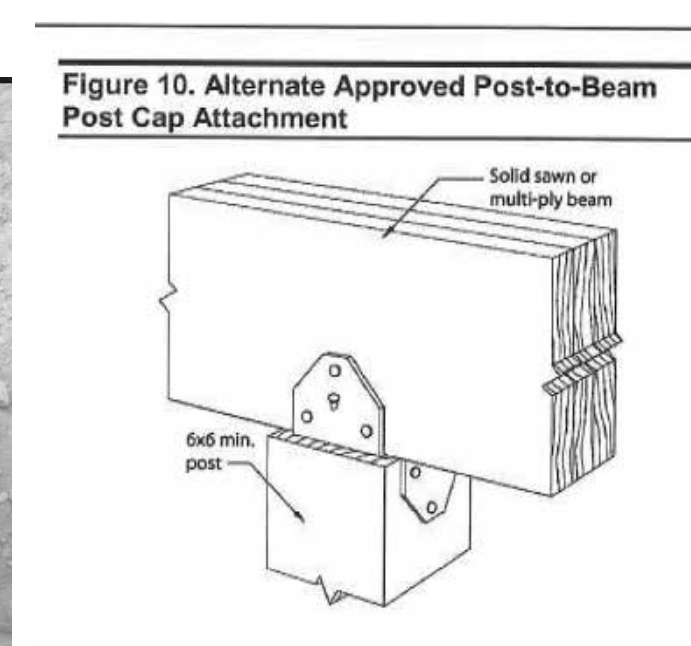


Figure 10. Alternate Approved Post-to-Beam Post Cap Attachment

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PRO ARCH CORPORATION LLC

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TEL: (732) 816 2764
E mail : pirrko.pattanayak@yahoo.com

DRAWING TITLE :
ROOF PLAN , RADON, STRAPPING DETAILS, DECK FRAMING DETAILS

OWNER : SHAH VIVEK & NUPUR

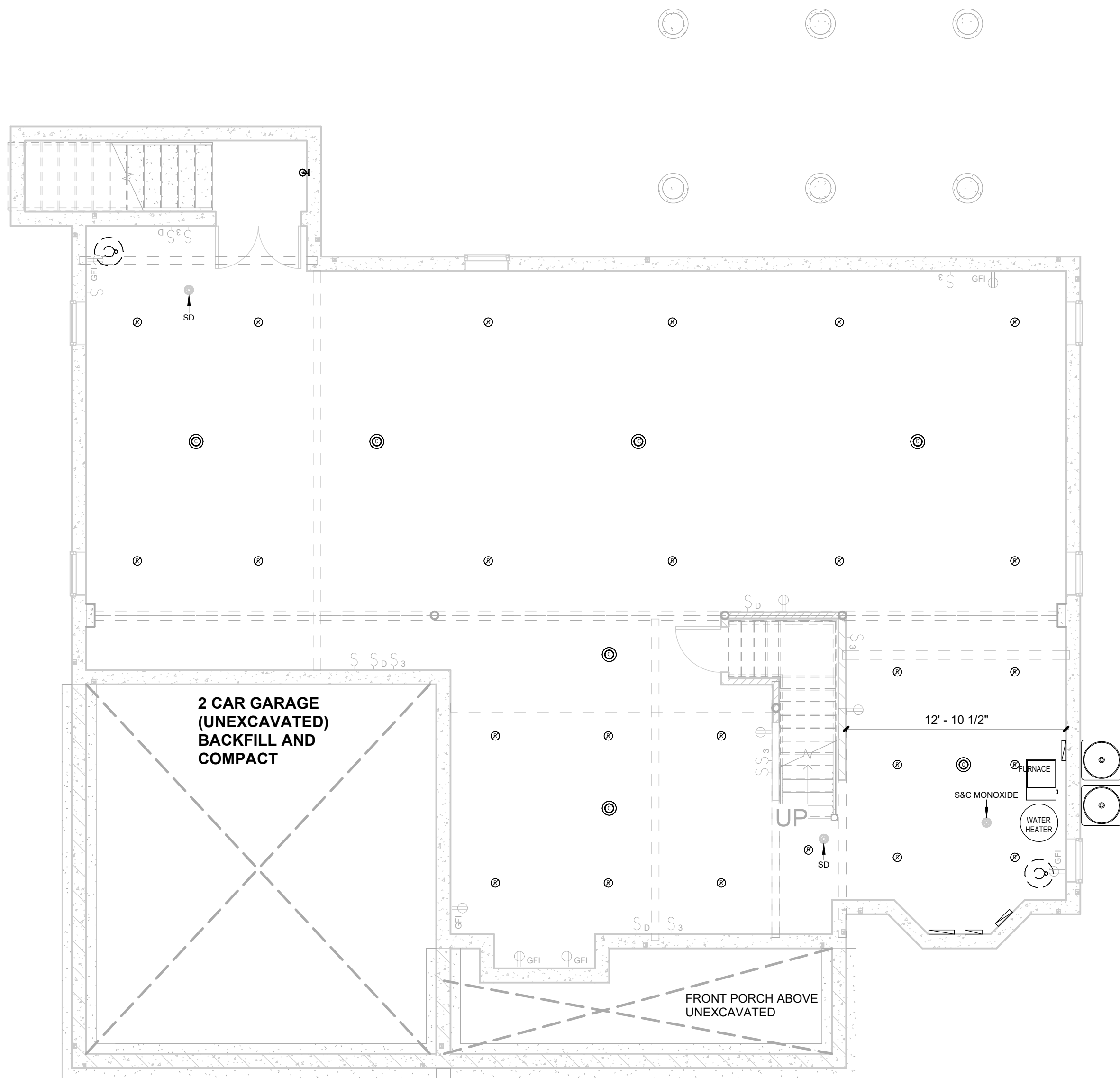
LOCATION : 20 FARMHAVEN AVE
LOT 5, BLOCK 993
EDISON, NJ 08820
ZONE : RA

PROJECT TITLE :
PROPOSED SINGLE FAMILY- TWO STORY NEW RESIDENTIAL BUILDING WITH UNFINISHED BASEMENT

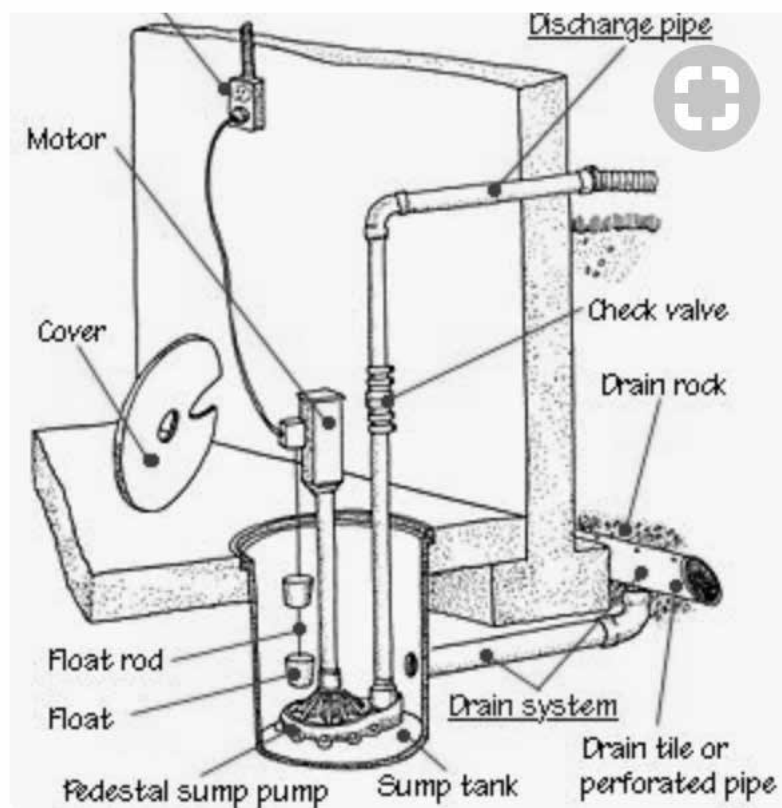
Project Date :	2020/12/24
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Checked By	OWNER /PLP
Sheet No.:	8 Out of 12
Project Number	22-P-009

Drawing No.

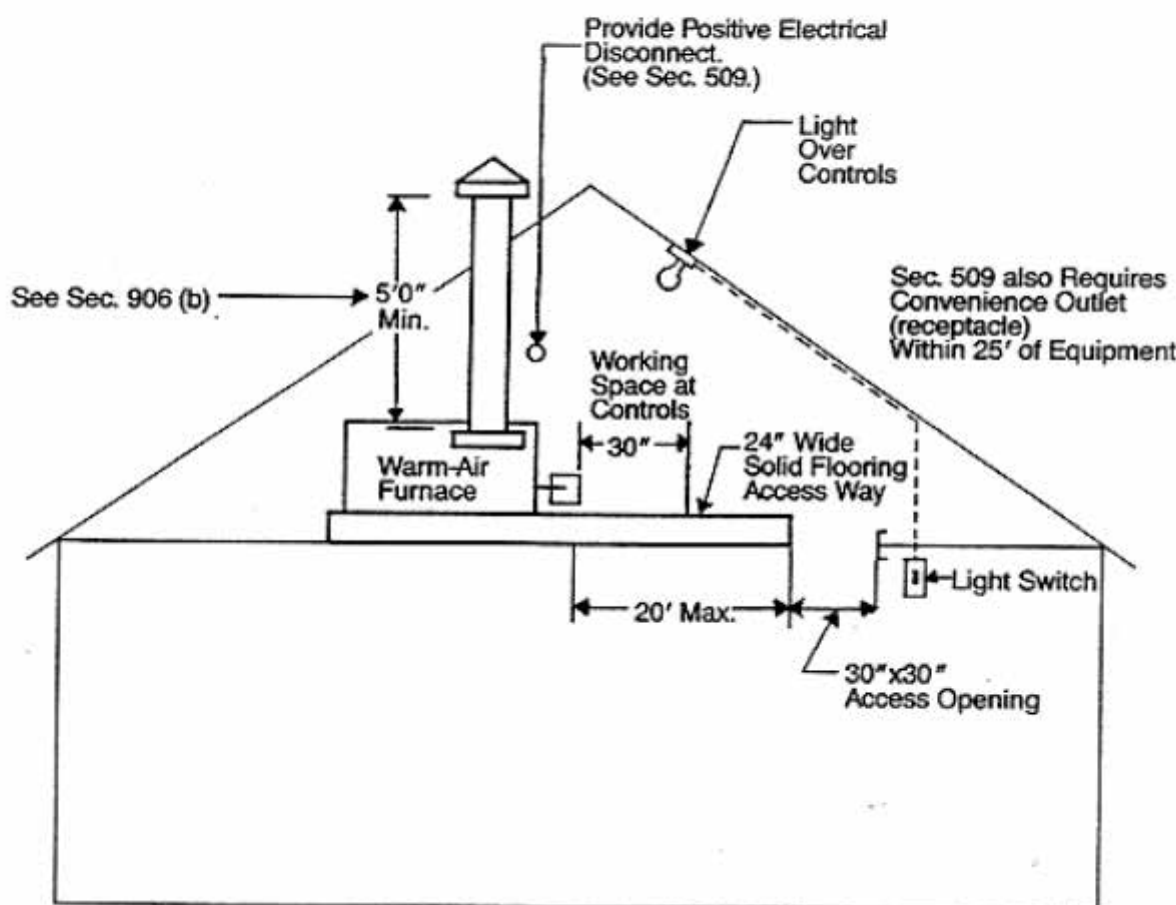
A-08



1 PROPOSED BASEMENT AND FOUNDATION PLAN
3/16" = 1'-0"

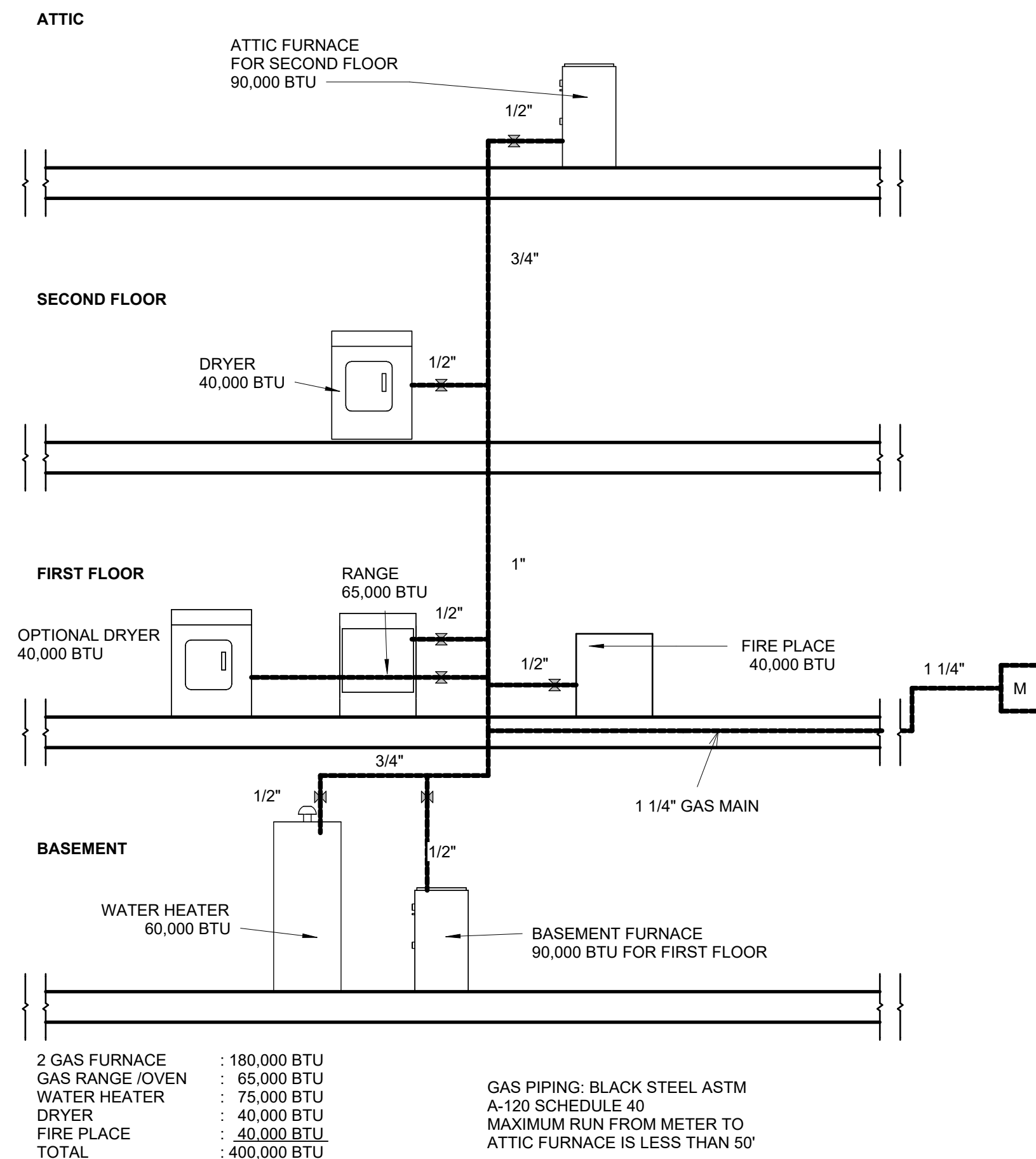


5 SUMP PUMP DETAIL
NTS



4 ATTIC FURNACE
NTS

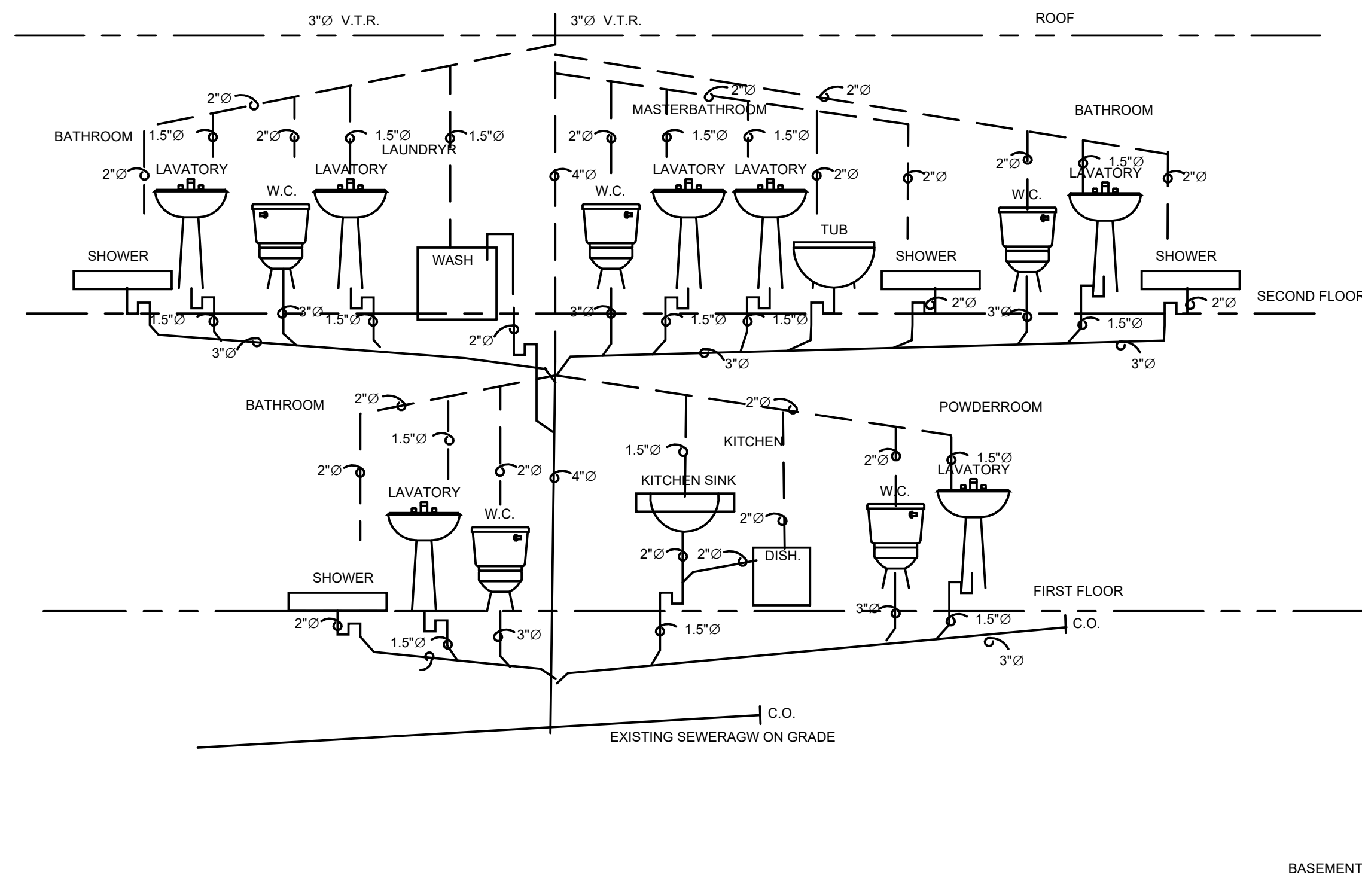
GAS RISER DIAGRAM



2 GAS FURNACE : 180,000 BTU
GAS RANGE/OVEN : 65,000 BTU
WATER HEATER : 75,000 BTU
DRYER : 40,000 BTU
FIRE PLACE : 40,000 BTU
TOTAL : 400,000 BTU

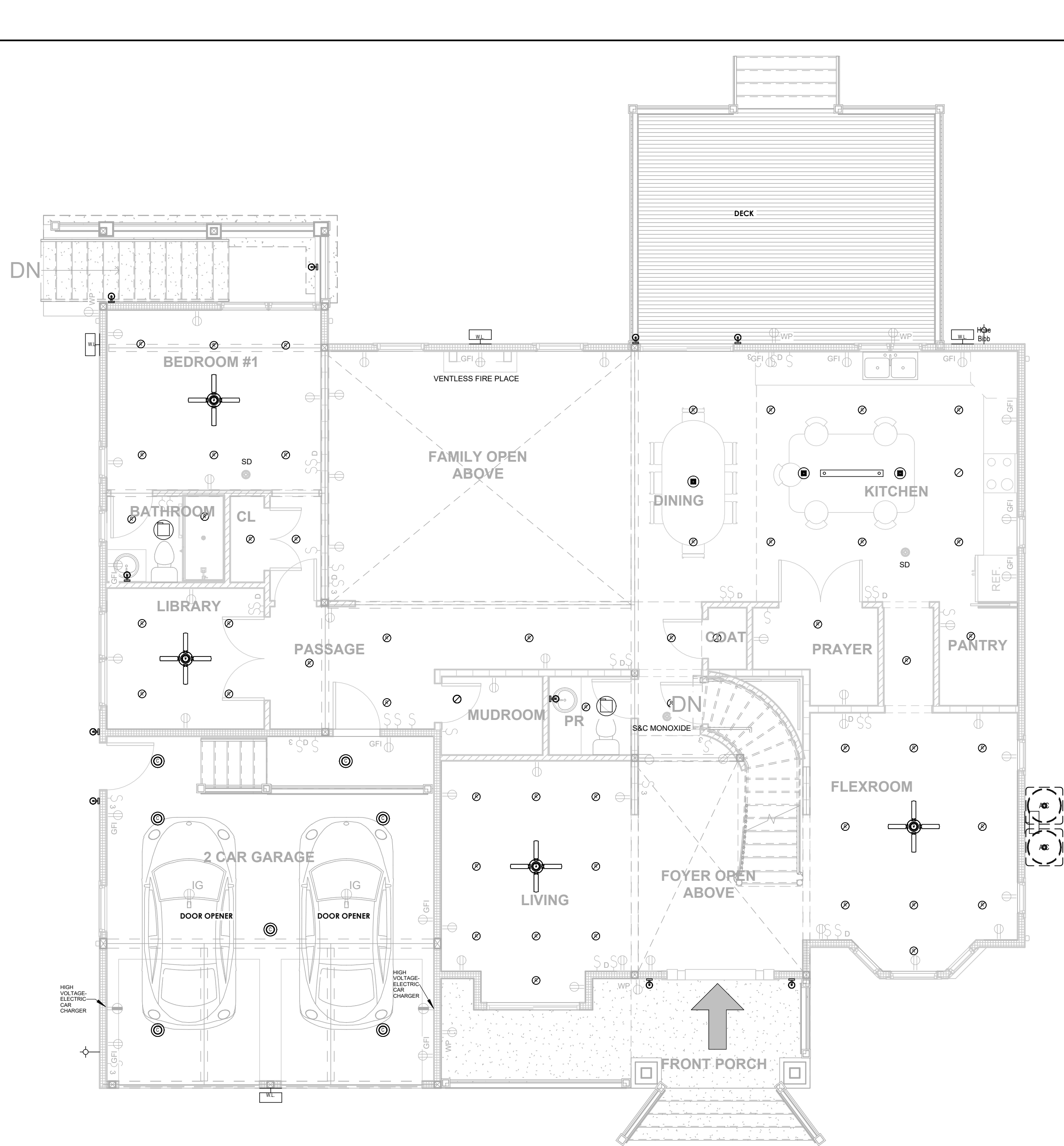
GAS PIPING: BLACK STEEL ASTM
A-120 SCHEDULE 40
MAXIMUM RUN FROM METER TO
ATTIC FURNACE IS LESS THAN 60'

	Pendent Light
	Recessed Can : 6" Incandescent
	Lighting Fixtures : Ceiling Light
	Outlet-GFI small : Single
	Outlet-WP : Single
	Switch-Single : Single
	Outlet-Range : Single
	Switch-Dimmer
	Switch-Double
	Outlet-Duplex : Single
	Wall Mounted Sconce Light
	Power Panel
	Lighting Panel
	Fire Alarm Panel
	Wall Pack Light - Exterior
	Ceiling Based Smoke Detector
	Smoke & Carbon Monoxide Detector
	Pendant Light - Linear
	Motorised Chandelier W/ Winch
	Exhaust Fan-Light Combination
	Ceiling Fan W/Light

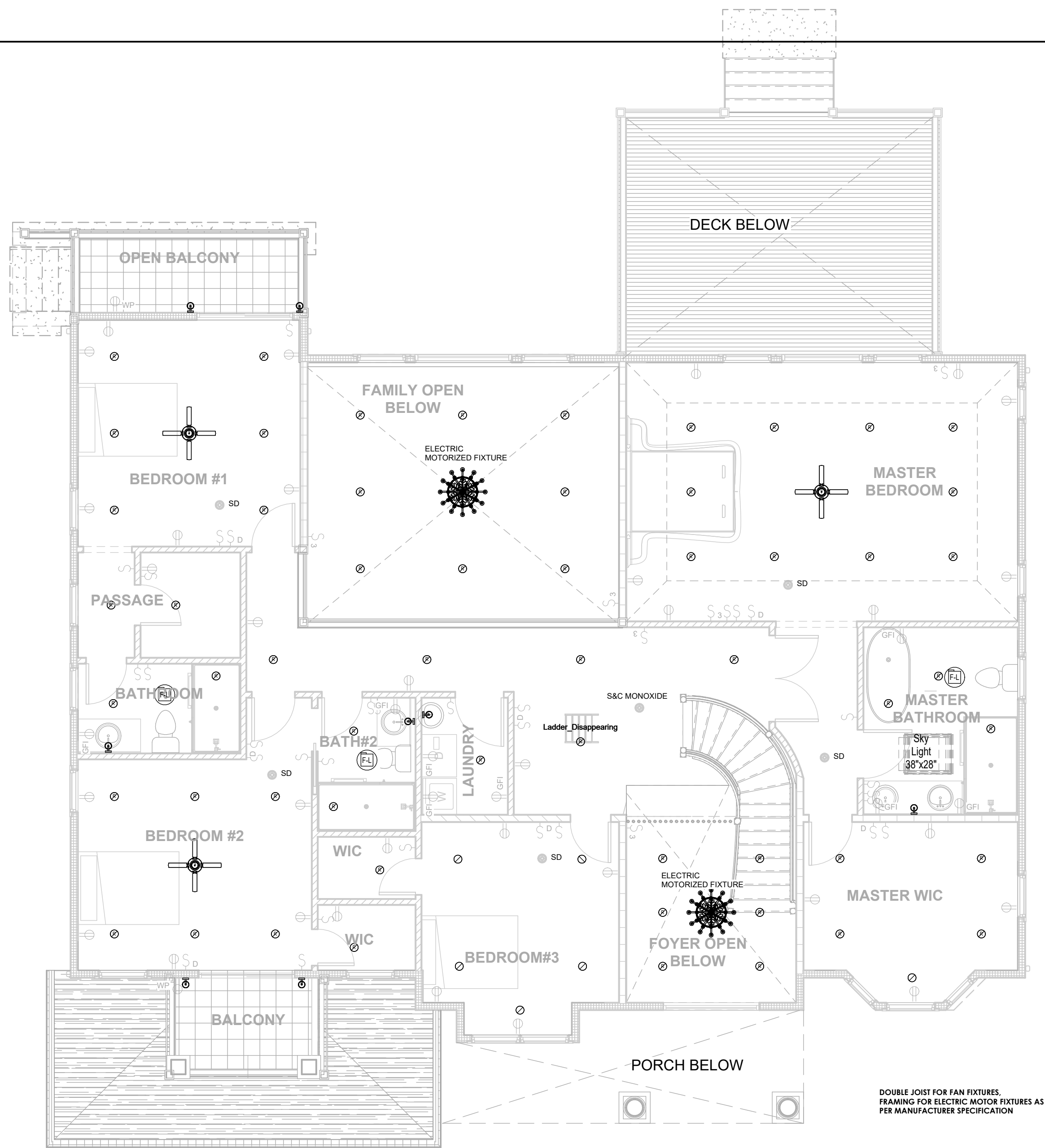
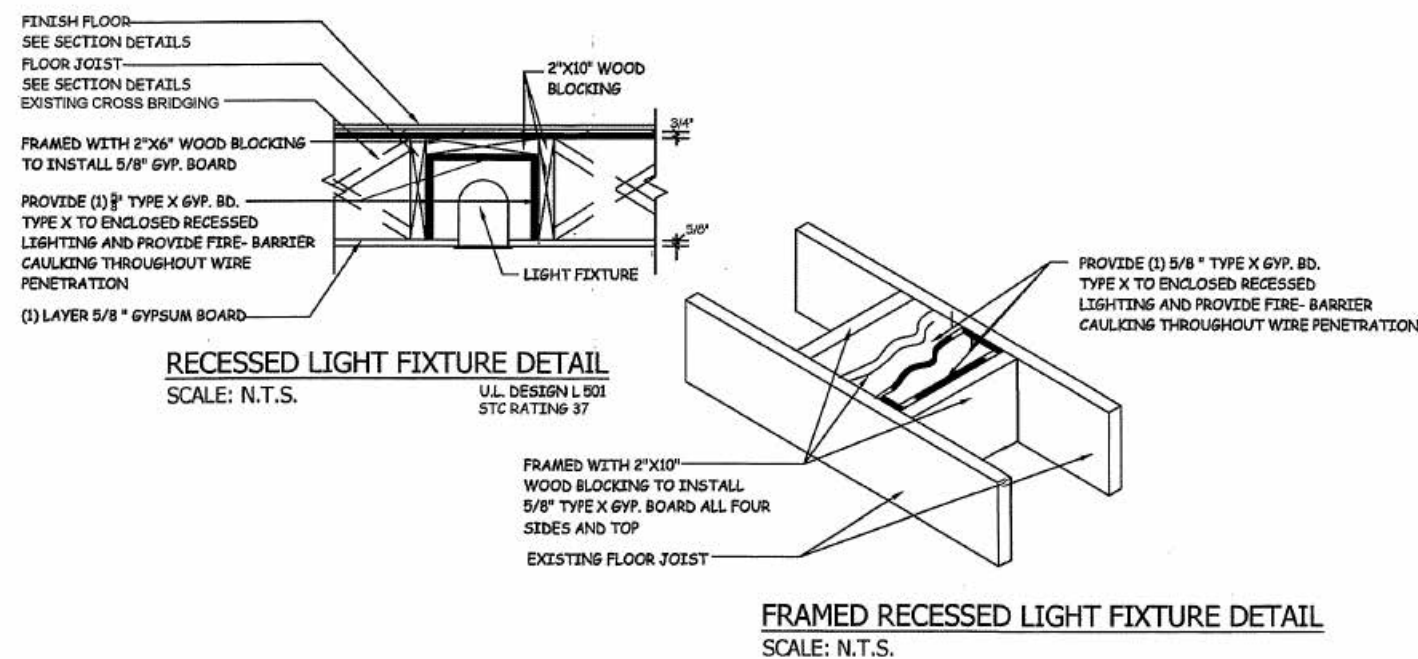


3 PLUMBING RISER DIAGRAM
NTS

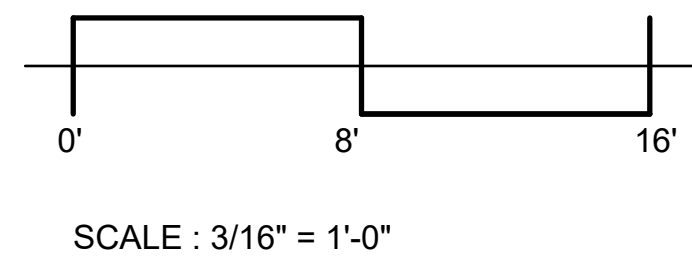
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PRO ARCH CORPORATION LLC PIRKKO LIISA PATTANAYAK, RA 7 PARKER CT., SOUTH AMBOY, NJ 08879 TEL: (732) 816 2764 E mail : pirrko.pattanayak@yahoo.com		
DRAWING TITLE : ELECTRICAL - BASEMENT , GAS RISER, LEGENDS, SUMP PUMP, PLUMBING RISER		
OWNER : SHAH VIVEK & NUPUR LOCATION : 20 FARMHAVEN AVE LOT 3, BLOCK 993 EDISON, NJ 08820 ZONE : RA		
PROJECT TITLE : PROPOSED SINGLE FAMILY -TWO STORY NEW RESIDENTIAL BUILDING WITH UNFINISHED BASEMENT		
Project Date : 2020/12/24 Sheet Date : 2023/08/15 Scale As indicated Drawn By RSS Checked By OWNER:PLP Sheet No. : 9 Out Of 12 PIRKKO LIISA PATTANAYAK, R.A. NJ REG. NO. 14889 (NOT VALID UNLESS SIGNED & SEALED) Project Number 22-P-009		
Drawing No. A-09		



1 FIRST FLOOR ELECTRICAL AND LIGHTING PLAN
3/16" = 1'-0"



2 SECOND FLOOR ELECTRICAL AND LIGHTING PLAN
3/16" = 1'-0"



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2	ISSUED FOR BUILDING PERMIT	2023/08/15
PRO ARCH CORPORATION LLC PIRKKO LIISA PATTANAYAK, R.A. 7 PARKER CT., SOUTH AMBOY, NJ 08879 TEL: (732) 816 2764 E mail : pirrko.pattanayak@yahoo.com		
DRAWING TITLE : ELECTRICAL PLANS FIRST AND SECOND FLOOR,		
OWNER : SHAH VIVEK & NUPUR		
LOCATION : 20 FARMHAVEN AVE LOT 3, BLOCK 993 EDISON, NJ 08820 ZONE : RA		
PROJECT TITLE : PROPOSED SINGLE FAMILY TWO STORY NEW RESIDENTIAL BUILDING WITH UNFINISHED BASEMENT		
Project Date :	2020/12/24	PIRKKO LIISA PATTANAYAK, R.A. ALSO SEE: 22-P-009 (NOT VALID UNLESS SIGNED & SEALED)
Sheet Date :	2023/08/15	
Scale	NTS	
Drawn By	RSS	
Checked By	OWNER, PLP	
Sheet No. :	10 Out Of 12	Drawing No. A-10
Project Number	22-P-009	

2021 IRC REQUIRED BRACED -WALL LINE LENGTH ASSUMPTIONS :

- WIND EXPOSURE CATEGORY: B
- SEISMIC DESIGN CATEGORY : C - DETACHED SINGLE FAMILY DWELLING
- ULTIMATE DESIGN WIND SPEED : 115 MPH

NOTES:

- BRACED - WALL LINES USING THE CONTINUOUS SHEATHING METHODS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTIONS R602.10.4.2, R602.10.6.4 AND R602.10.7 AS APPLICABLE.
- BRACED WALL PANELS SHALL BE LOCATED AT EACH END OF BRACED WALL LINES AND BEGIN UP TO 10 FT FROM THE END IN ACCORDANCE WITH FIGURE R602.10.2.2 CORNER CONSTRUCTION FOR THE CONTINUOUS SHEATHING METHODS SHALL BE IN ACCORDANCE WITH SECTION R602.10.7
- THE DISTANCE BETWEEN BRACED WALL PANELS SHALL NOT EXCEED 20 FT IN ACCORDANCE WITH R602.10.2.2
- BRACED WALL LINE SPACING SHALL NOT EXCEED 60 FT ON CENTER
- HORIZONTAL PANEL JOINTS IN BRACED WALL PANELS SHALL BE BLOCKED IN ACCORDANCE WITH SECTION R602.10.4.4

BRACED WALL PANEL (BWP) MATERIAL (TABLE R602.10.4)

CS-WSP : CONTINUOUS SHEATHED WOOD STRUCTUAL PANELS REQUIRES THE ENTIRE STORY BE SHEATHED WITH WSPS FULL HEIGHT WALLS AS WELL AS ABOVE & BELOW OPENINGS. THICKNESS AND ATTACHMENTS SAME AS WSP.

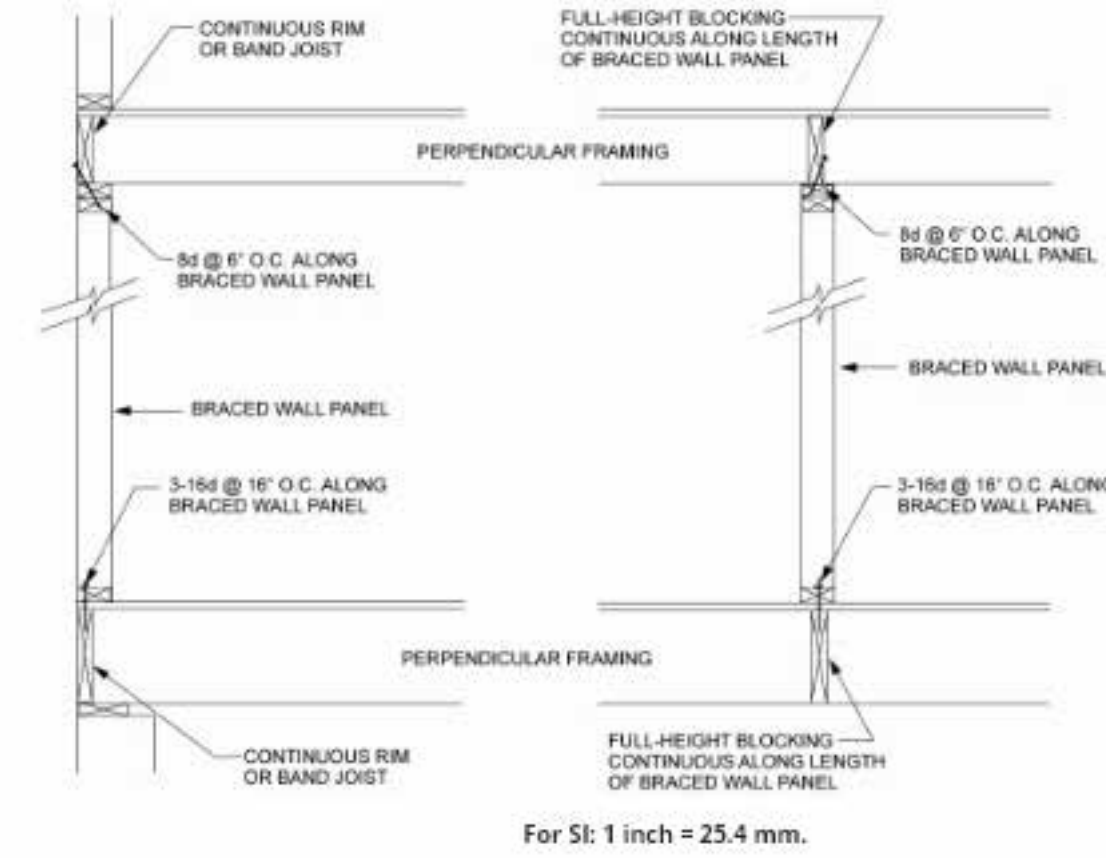
- 7/16" THICK OSB OR PLY WOOD
- FASTENERS : 6D NAILS @6" O.C. EDGES, 12" O.C. FIELD
- 48" MINIMUM LENGTH

GB: GYPSUM BOARD : 1/2" GYP BOARD NAILED OR SCREWED TO FRAMING AT 7" ON CENTER. FASTENER AS SIZE PER TABLE R702.3.5

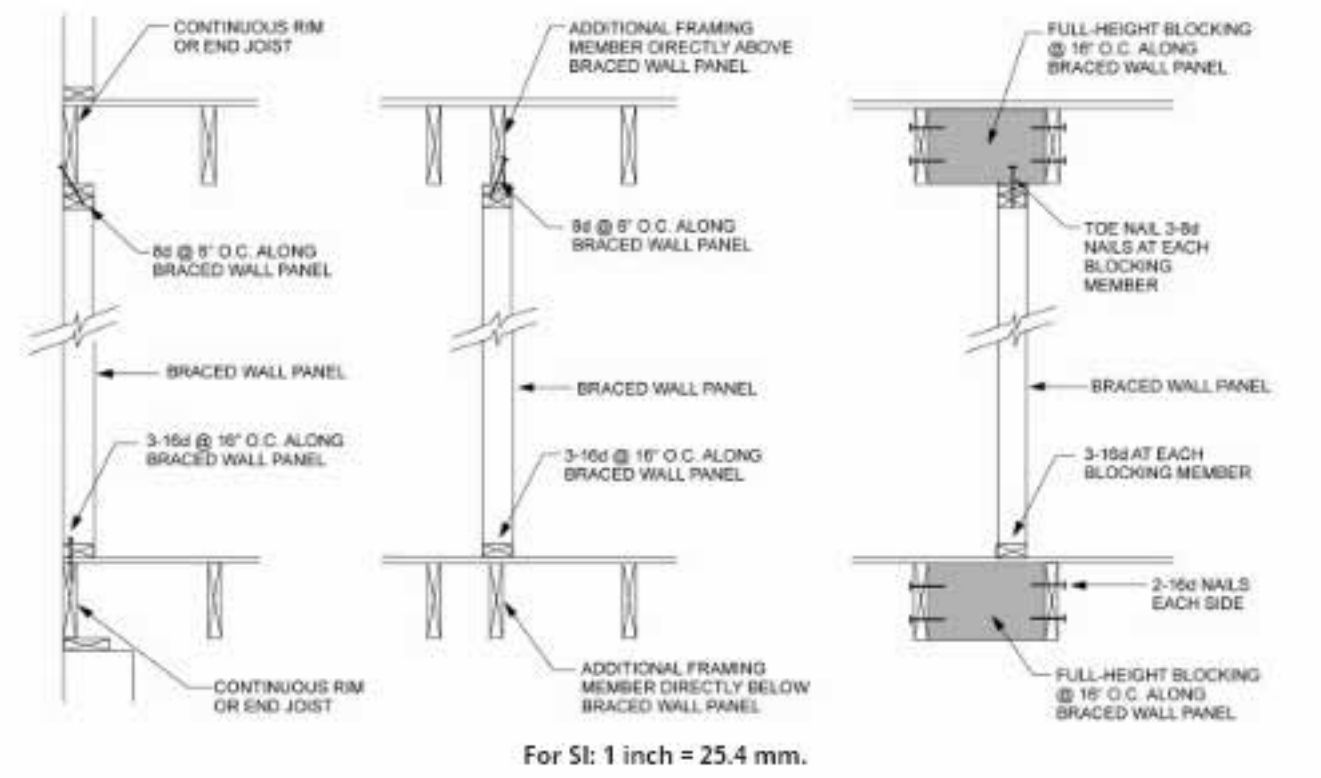
- 1/2" THICK
- FASTENERS : NAILS OR SCREWS@7" O.C. EDGES AND FIELD
- 48" MINIMUM LENGTH

PFH: PORTAL FRAME WITH HOLD-DOWN AT GARAGE - AS PER DETAIL

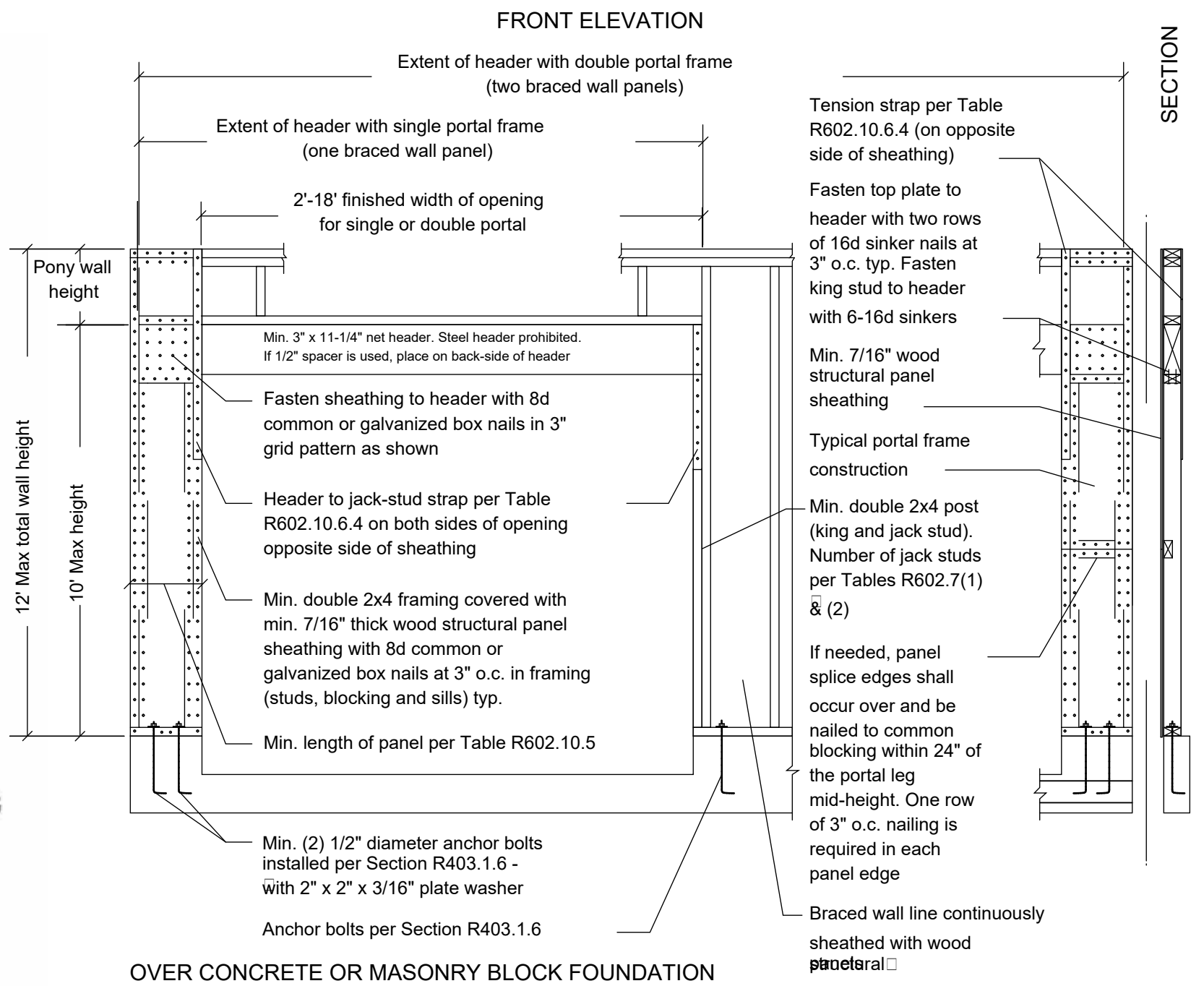
TABLE 91.5.602.10.4				
BRACING METHODS ^f				
METHODS, MATERIAL	MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA ^a	
			Fasteners	Spacing
CS-PF Continuously sheathed portal frame	15/32"		See Section R602.10.6.4	See Section R602.10.6.4
CS-WSP Continuously sheathed wood structural panel	15/32"		Exterior sheathing per Table R602.3(3)	6" edges 12" field
			Interior sheathing per Table 91.5.602.3(1) or 91.5.602.3(2)	Varies by fastener
GB Gypsum board	1/2"		Nails or screws per Table 91.5.602.3(1) for exterior locations	For all braced wall panel locations: 7" edges (including top and bottom plates) 7" field
			Nails or screws per Table R702.3.5 for interior locations	



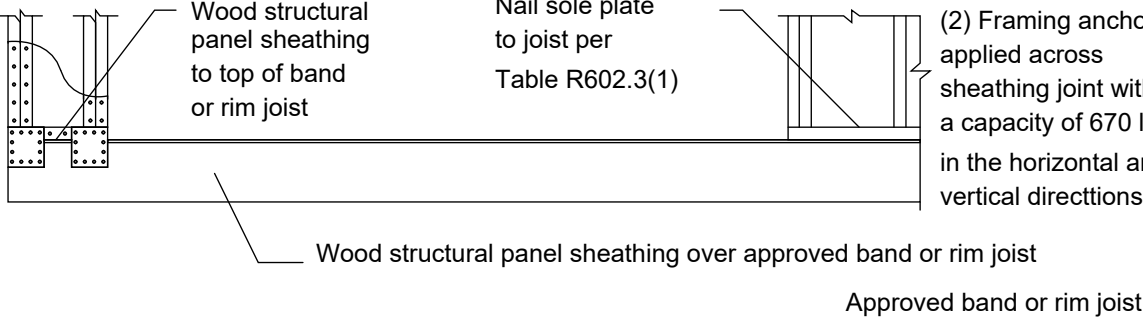
BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING



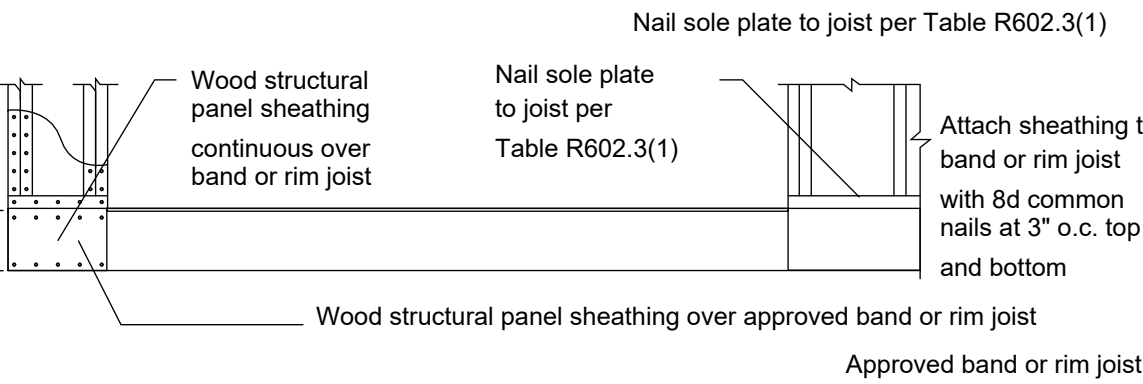
BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING



OVER CONCRETE OR MASONRY BLOCK FOUNDATION



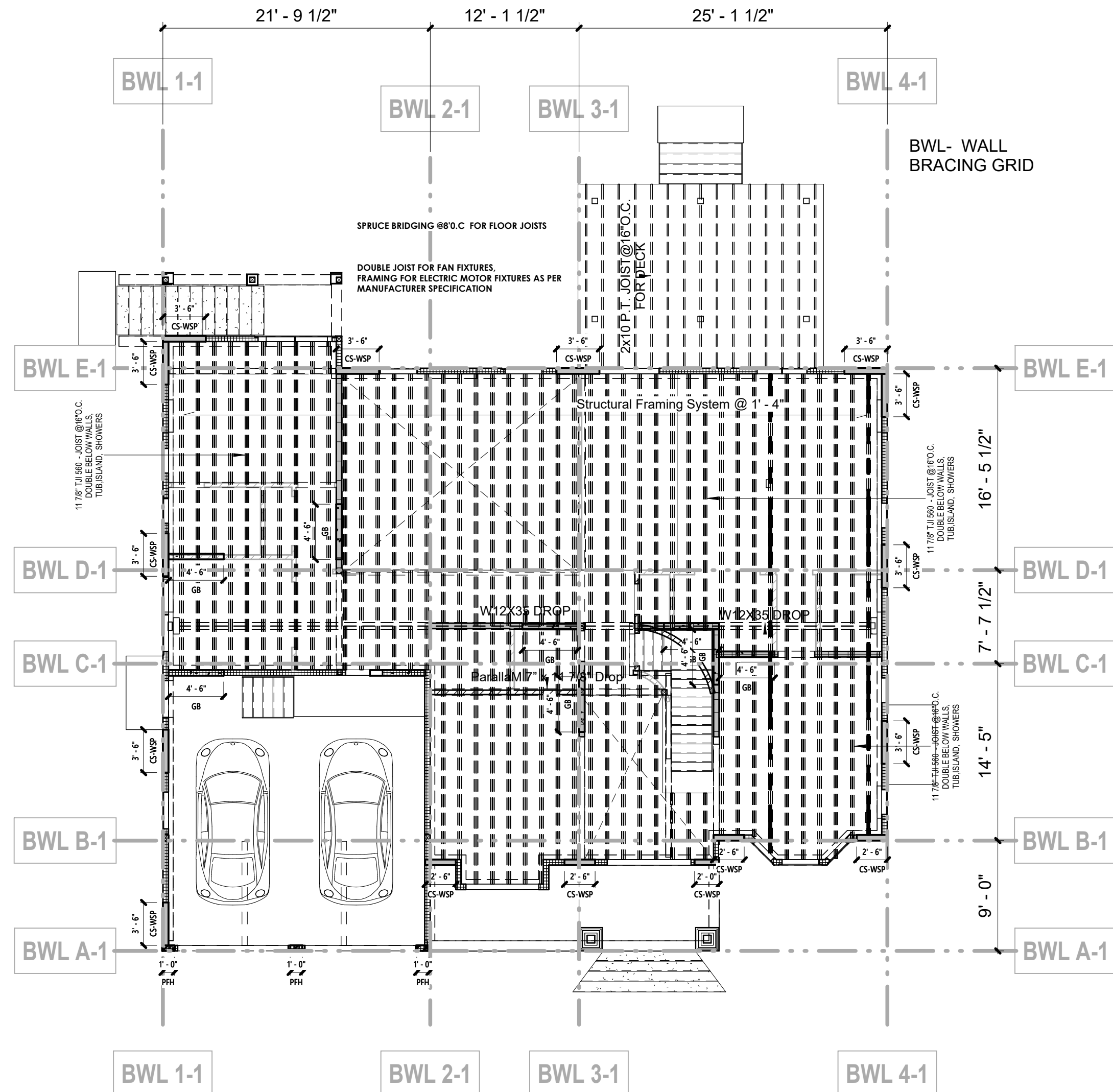
OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION (When portal sheathing does not lap over band or rim joist)



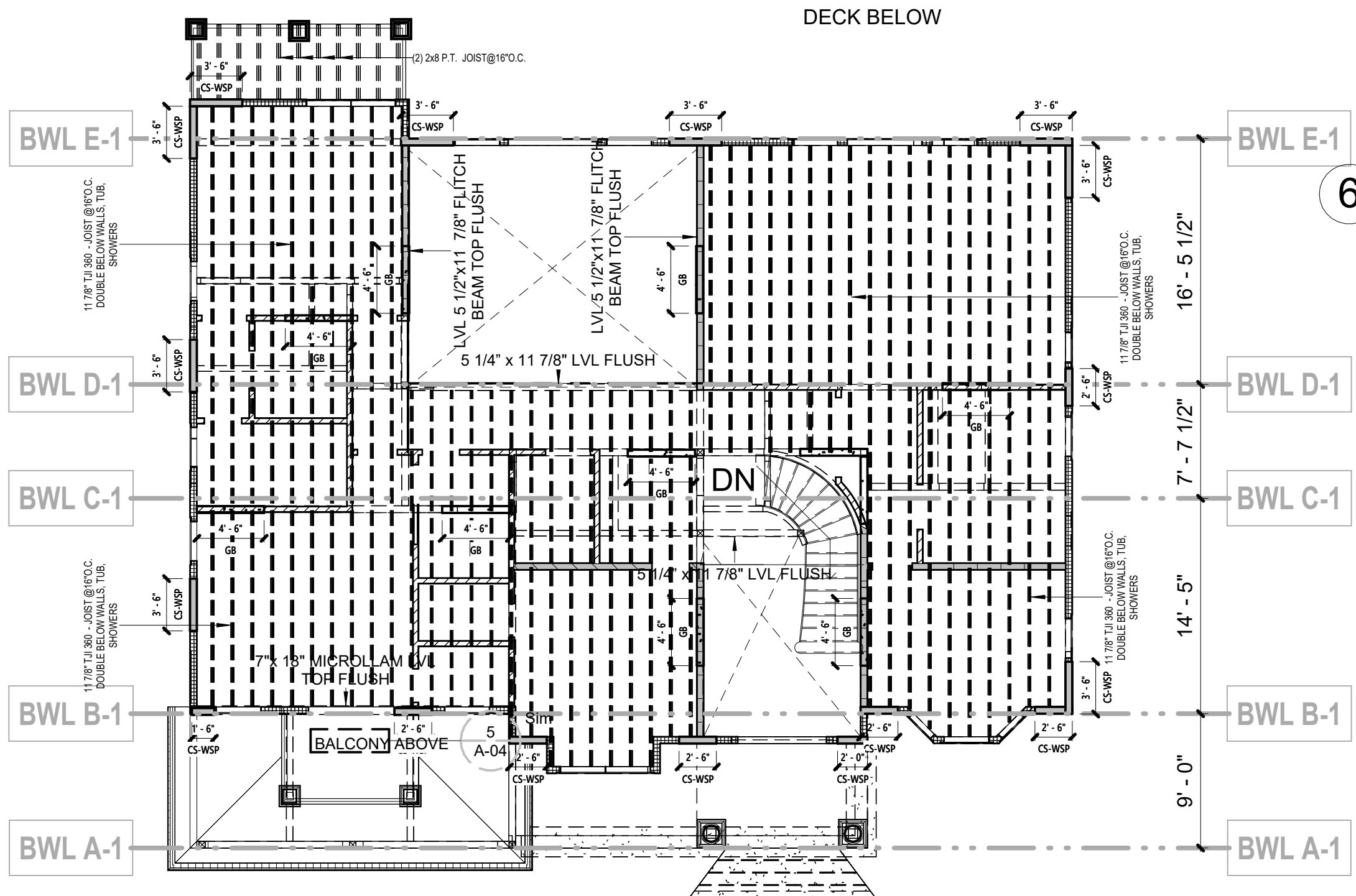
OVER RAISED WOOD FLOOR - OVERLAP OPTION (When portal sheathing laps over band or rim joist)

METHOD CS-PF - CONTINUOUSLY SHEATHED PORTAL FRAME CONSTRUCTION

2 BRACING METHODS NTS



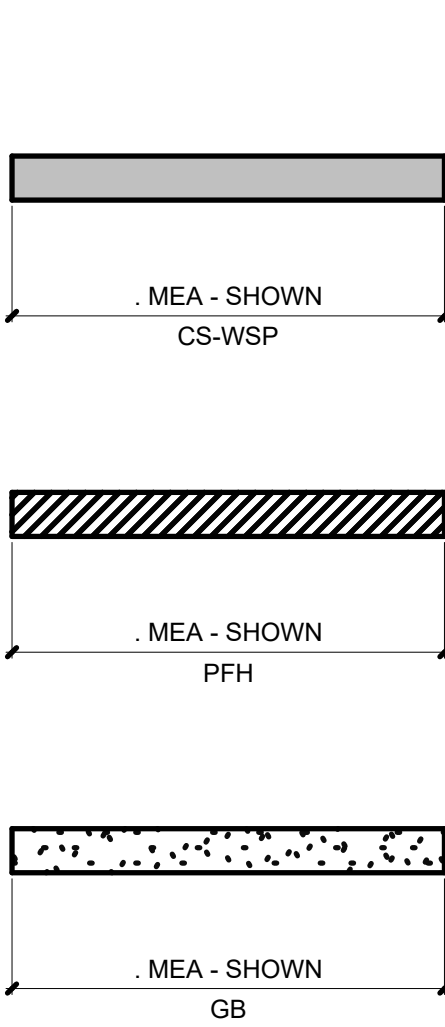
1 SCHEMATIC FIRST FLOOR TJI AND WALL BRACING PLAN
1/8" = 1'-0"



7 SCHEMATIC SECOND FLOOR TJI AND WALL BRACING PLAN
1/8" = 1'-0"

6 IRC2021_CS-PF FIGURE3.48_R602_10_6_4 NTS

WALL BRACING LEGEND



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No.	Description	Date
1	ISSUED FOR ZONING PERMIT ONLY	2022/06/06
2	ISSUED FOR BUILDING PERMIT	2023/08/15
PRO ARCH CORPORATION LLC		
PIRKKO LIISA PATTANAYAK, R.A.		
7 PARKER CT., SOUTH AMBOY, NJ 08879		
TEL: (732) 816 2764		
E mail : pirrko.pattanayak@yahoo.com		
DRAWING TITLE : STRUCTURAL FRAMING AND WALL BRACING PLANS, DETAILS		
OWNER : SHAH VIVEK & NUPUR		
LOCATION : 20 FARMHAVEN AVE LOT 3, BLOCK 993 EDISON, NJ 08820 ZONE : RA		
PROJECT TITLE : PROPOSED SINGLE FAMILY - TWO STORY NEW RESIDENTIAL BUILDING WITH UNFINISHED BASEMENT		
Project Date :	2020/12/24	
Sheet Date :	2023/08/15	
Scale :	As indicated	
Drawn By :	RSS	
Checked By :	OWNER :PLP	
Sheet No. :	11 Out Of 11	PIRKKO LIISA PATTANAYAK, R.A.
Project Number :	22-P-009	ALSO SEE: 1/8" = 1'-0" (NOT VALID UNLESS SIGNED & SEALED)
Drawing No.	A-11	

JOIST DETAILS

JOIST DETAILS

Plate nail - 16d (0.135" x 3") @ 16" on-center

Blocking panel:
1" T/P Rim Board, 1" or 1 1/2" TimberStrand® LSL, T/P joist

Rim-to-joist nail

Web stiffener required on both sides at A1W ONLY

Toe nail - 10d (0.131" x 3") at 6" on-center

A1 **A2** **A3** **A4** **A5** **A6** **A7**

Must have 1/4" minimum joist bearing at installation rim joist end

When sheathing thickness exceeds 1/2", trim sheathing tongue at rim board

Plate nail - 16d (0.135" x 3") @ 16" on-center

Floor panel - 1/2" T/P Rim Board, 1/2" or 1 1/2" TimberStrand® LSL, rim board

Web stiffeners required on both sides at A3W ONLY

Sheathing - boundary nails (0.131" x 2 1/2") at 4" on-center

When sheathing thickness exceeds 1/2", trim sheathing tongue at rim board

1 1/2" T/P Rim Board, (A2, A3, A4, A5, A6, A7) 1" or 1 1/2" TimberStrand® LSL

Toe nail - 10d (0.131" x 3") at 6" on-center

Install proper blocking to support all panel edges

B1 **B2** **B3** **B4** **B5** **B6** **B7**

Load bearing or brace/shear wall above (must stack over wall below)

Blocking panel: 1" T/P Rim Board, 1" or 1 1/2" TimberStrand® LSL, or T/P joist

2x stud wall at 16"

Floor panel nail - 8d (0.131" x 2 1/2") at 6" on-center

Web stiffeners required on both sides at A3W ONLY

2x minimum square blocks

No load bearing wall above

Web stiffeners required on both sides at B3W ONLY

Load bearing or brace/shear wall above (must stack over wall below present)

Blocking panel: 1" T/P Rim Board, 1" or 1 1/2" TimberStrand® LSL, or T/P joist

Web stiffeners required on both sides of both joist ends at B4W ONLY

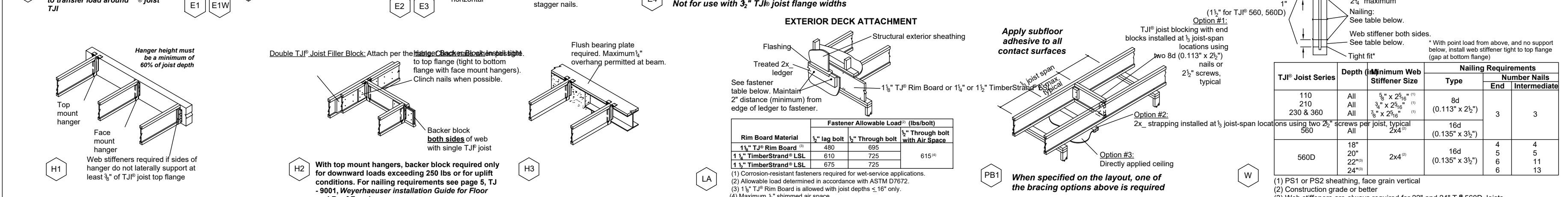
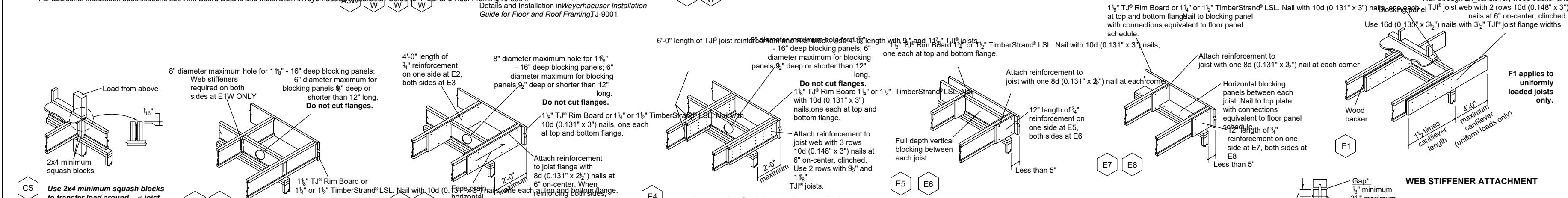
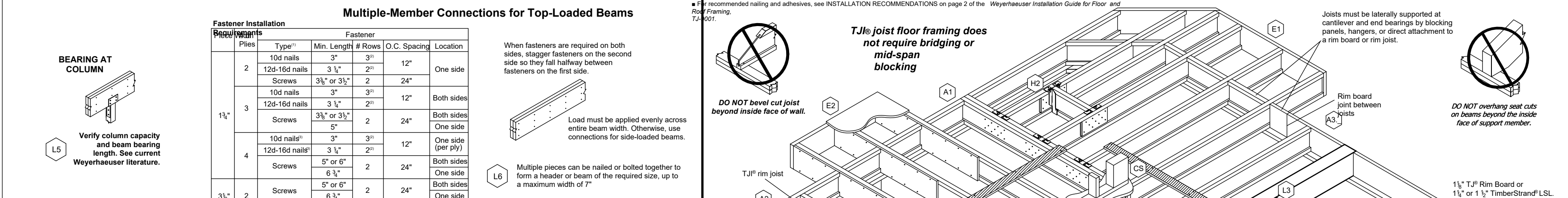
End of joists at centerline of support

Blocking panels may be required with brace/shear walls above or below - see detail B1

Blocking panels may be required with brace/shear walls above or below - see detail B1

Nail through 2x cantilever, wood hanger

Fig. 4: Additional installation specifications see Rim Board Details and Installation Details and Blocking and Bracing Details

[illegible]

COLUMN DETAILS

BEAM ON COLUMN CAP
 One 80 (16" x 2") nail each edge.
 P1

COLUMN BASE
 15" minimum end bearing single-family applications.
 3" minimum intermediate bearing 4" may be required for maximum capacity.
 Shear transfer: Connections equivalent

NAILING AT BEARING (FLOOR)
T.J. Joist to Bearing Plate Squash Blocks to T.J. Joist (Load bearing wall above)
 1 1/2" T.J. Rim Board or 1 1/2" x 1 1/2" Strand'L S.L.
 One 10d (0.128" x 3") nail into each flange.
 One 10d (0.128" x 3") nail into each flange.
 Also see detail B2
 Joist may be shifted up to 3" if floor panel edge is supported and span rating is not exceeded. Do not cut joist flanges.
 Plumbing Drop
 End of joists at centerline of support
 Use B1 or B2 at intermediate bearings with load bearing or braced shear wall from above.
 B1, B2, B3, B4, H1, H2, L1, L2, P

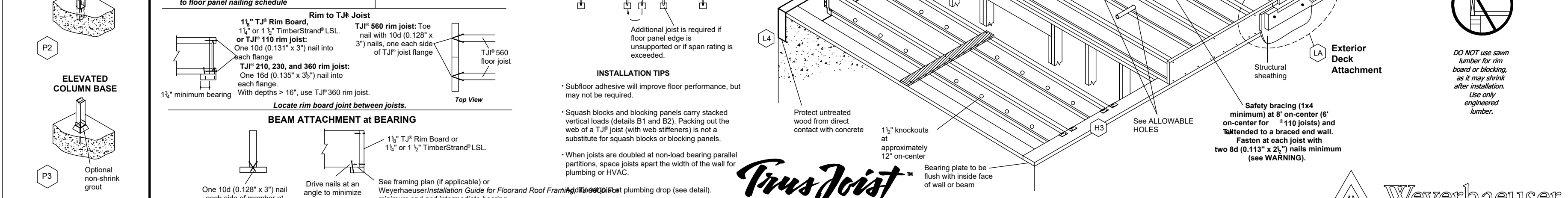
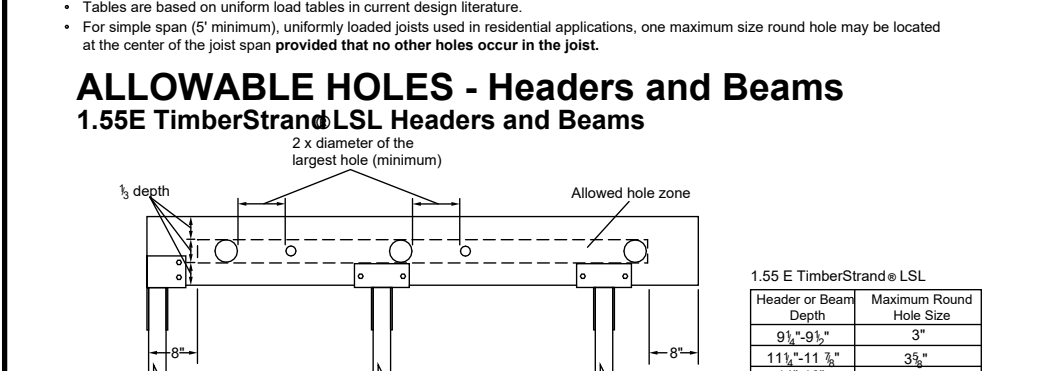
[illegible][illegible]

Table B - Intermediate or Cantilever Support
Minimum distance from edge of hole to inside face of nearest intermediate or cantilever support

[illegible]

* Leave $\frac{1}{8}$ " of web (minimum) at top and bottom of hole. **DO NOT** cut joist flanges.



Other Trus Joist Headers and Beams

Mocon® LV[®]
 1.3E TimberStrand[®] LSL[®] **NOTE: Overlapped** PSL[®]
 hole zone

2 x diameter of the
 largest hole (mm/inch)

1 depth

Mocon® LV[®] and
 Parallel PSL[®] allowed hole zone

Header or Beam
 Depth

Minimum Round
 Hole Size

**DO NOT cut, notch or drill
 holes in headers or beams
 except as indicated in
 illustrations and tables.**

The diagram shows a beam with a central hole. The total length is 12'0". The hole is 4'0" wide. The distance from the hole to the ends is 4'0". The distance from the hole to the center of the beam is 4'0". The distance from the hole to the center of the beam is 4'0". The distance from the hole to the center of the beam is 4'0".

4'0"	1'
5'0"	1'0"
7'0", 20"	2'

See illustration for Allowed Hole Zone

General Notes

- Allowed hole zone suitable for headers and beams with **uniform loads only**.
- Round holes only
- No holes in cantilevers.

WARNING
Joists are unstable until braced laterally

Bracing Includes:

- Blocking
- Sheathing
- Strut Lines
- Hangers
- Rim Board
- Rim Joist

DO NOT work on joists until braced. INJURY MAY RESULT.	DO NOT walk on joists that are lying flat.	DO NOT stick building materials on unbraced joists. Stack only over beams or walls.
<u>WARNING NOTES:</u> Lack of proper bracing during construction can result in serious accidents. Observe the following guidelines: 1. Labeled trusses, rim boards and joists at the end supports of the T.J. Joists must be completely installed and properly nailed. 2. Before loading, the braced end of the joist must be braced to the end support. The end support must also be supported by a temporary or permanent deck (sheathing) located in the first 4 feet of the span of the end of the bay. 3. The bracing of 1st (primary) must be nailed to the braced end support and the end support must be braced to the end support. Without this bracing, buckling sideways or rollover is highly probable under light construction loads - such as the weight of sheathing. 4. Sheathing must be completely attached at both T.J. joist before additional loads can be placed on the system. 5. Ends of cantilever require safety bracing on both the top and bottom flanges. 6. The fascias must remain straight until the T.J. joist is true.		

Warning: Drilling, sawing, sanding or machining wood products generates wood dust. The paint and/or coating on this product may contain titanium dioxide. Wood dust and titanium dioxide are substances known to the state of California to cause cancer. For more information on Proposition 65, www.cdph.ca/infoform.

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October 2017 Brooder TJL015

should be referenced for additional

Weyerhaeuser
1.888.453.8358
woodbywy.com

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PRO ARCH CORPORATION LLC

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DRAWING TITLE :

TJI INSTALLATION SHEET

OWNER : SHAH VIVEK & NUPUR

LOCATION : 20 FARMHAVEN AVE
LOT 3, BLOCK 993
EDISON, NJ 08820
ZONE : RA

PROJECT TITLE :
**PROPOSED SINGLE FAMILY -TWO STORY
NEW RESIDENTIAL BUILDING WITH
UNFINISHED BASEMENT**

Project Date : 2020/12/24	PIRKKO LIISA PATTANAYAK, R.A. M.No/Proj. No. 146595 (NOT VALID UNLESS SIGNED & SEALED)
Sheet Date : 2023/08/15	
Scale NTS	
Drawn By T.J.I	
Checked By OWNER ;PLP	
Sheet No.: 12 Out Of 11	
Project Number 22-P-009	

Drawing No.	A-12
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